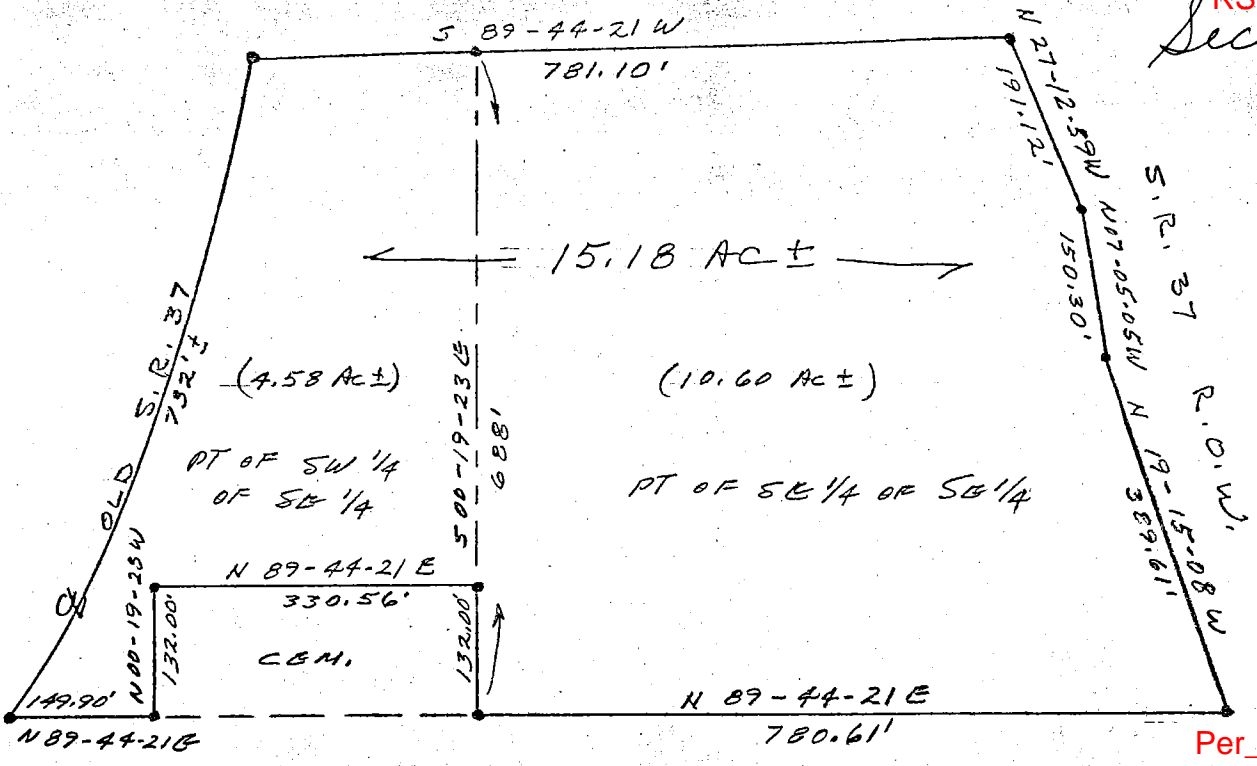


Sec 32



Per H25

SW COR. OF SE 1/4 OF SE 1/4 - SEC. 32-BN-1W

1" = 200'

Legal Description:

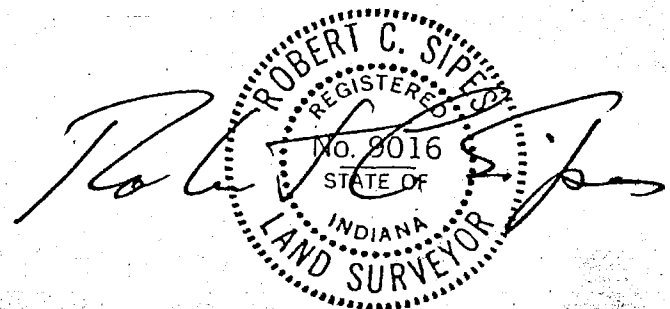
A part of the Southeast quarter of Section 32, Township 8 North, Range 1 West, Monroe County, Indiana, described as follows:

Beginning at the the Southwest corner of the Southeast quarter of said Southeast quarter section, thence North 89 degrees 44 minutes 21 seconds East 780.61 feet to the Westerly right-of-way of State Road No. 37; thence on said right-of-way North 19 degrees 15 minutes 08 seconds West 389.61 feet; thence continuing on said right-of-way North 07 degrees 05 minutes 05 seconds West 150.30 feet; thence continuing on said right-of-way North 27 degrees 12 minutes 39 seconds West 191.12 feet; thence South 89 degrees 44 minutes 21 seconds West 781.10 feet, more or less to the centerline of Old State Road No. 37; thence Southwesterly on and along said centerline 732 feet, more or less, to a point of intersection with the South line of the aforesaid Southeast quarter section; thence on said South line North 89 degrees 44 minutes 21 seconds East 149.90 feet; thence North 00 degrees 19 minutes 23 seconds West 132 feet; thence North 89 degrees 44 minutes 21 seconds East 330.56 feet; thence South 00 degrees 19 minutes 23 seconds East 132 feet to the point of beginning, containing 15.18 acres, more or less.

Subject to all rights-of-way and easements of record.

Prepared By:

ROBERT C. SIPES  
LAND SURVEYOR, IND 9016  
109 POPLAR DRIVE  
ELLETTSVILLE, IN 47429  
876-6078



SEC. 32

SEC. 33

NW COR. OF SW 1/4

S 89-11-10 E

S 89-31-49 E

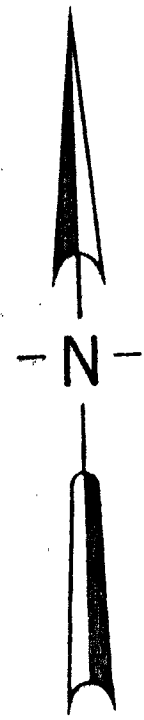
1320.00'

Per\_E23

762.00'

30' EASEMENT

N 61° E - 11.10'  
N 89° E - 47.52'  
S 77-38-36 E - 73.81'  
S 68-11-42 E - 68.60'  
S 40-30-36 E - 68.86'  
S 49-52-56 E - 62.45'



"A"  
0.70 Ac.±

"B"  
1.00 Ac.±

N 00-08-39 E

713.27'

124.56'

N 89-11-10 W

2768.54'

48.14 Ac.±

S 37-13-24 E  
470.46'  
S 29-26-24 E  
578.23'

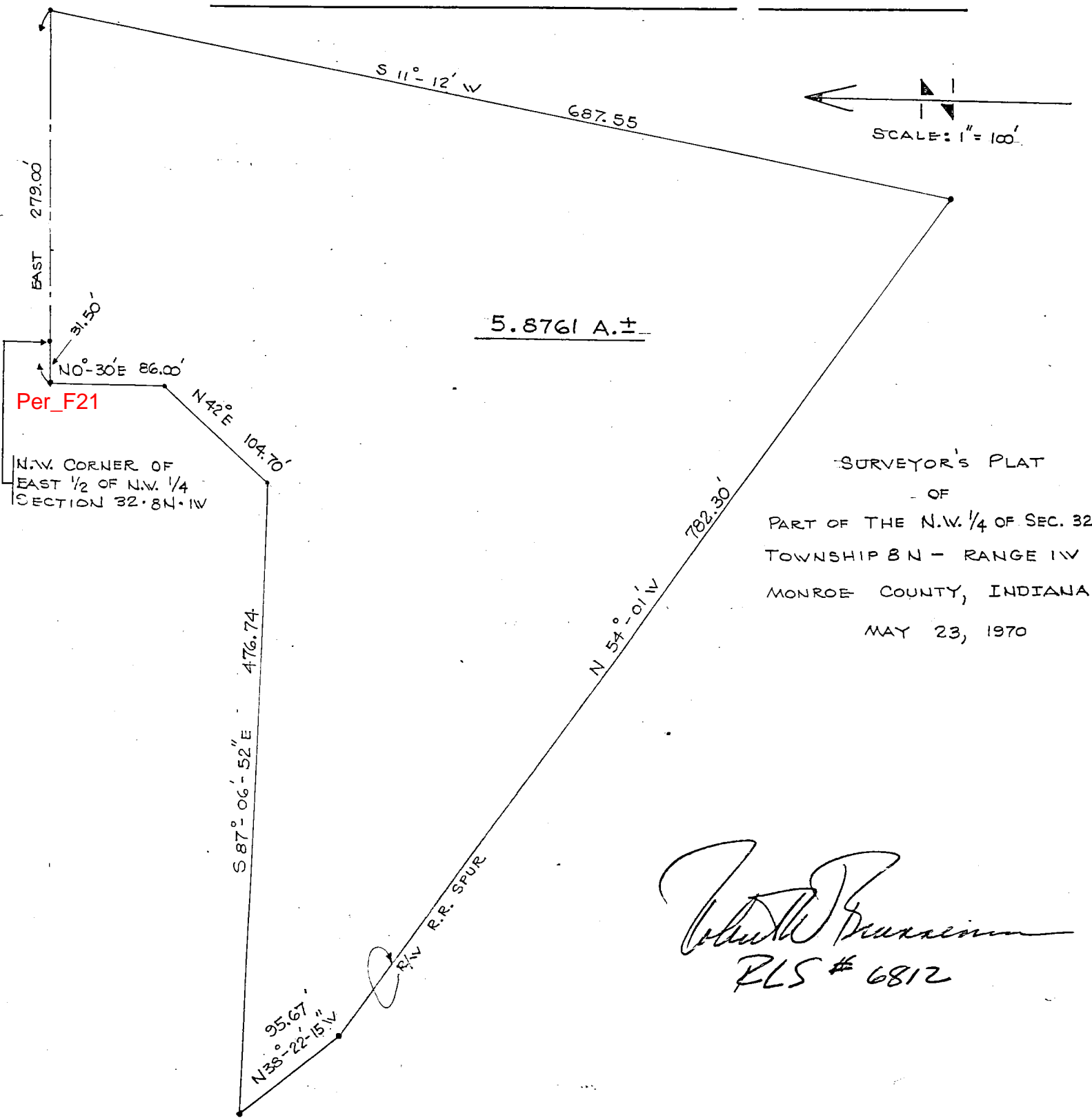
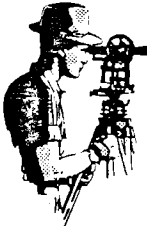
N 89-31-49 E

Per\_H23



BLOOMINGTON ENGINEERING COMPANY

ENGINEERS and SURVEYORS  
811 ANITA STREET  
BLOOMINGTON, INDIANA 47401  
Phone 332-2603



Sec. 32

Sec 32

# BLOOMINGTON ENGINEERING COMPANY

ENGINEERS and SURVEYORS  
811 ANITA STREET  
BLOOMINGTON, INDIANA 47401  
Phone 332-2603

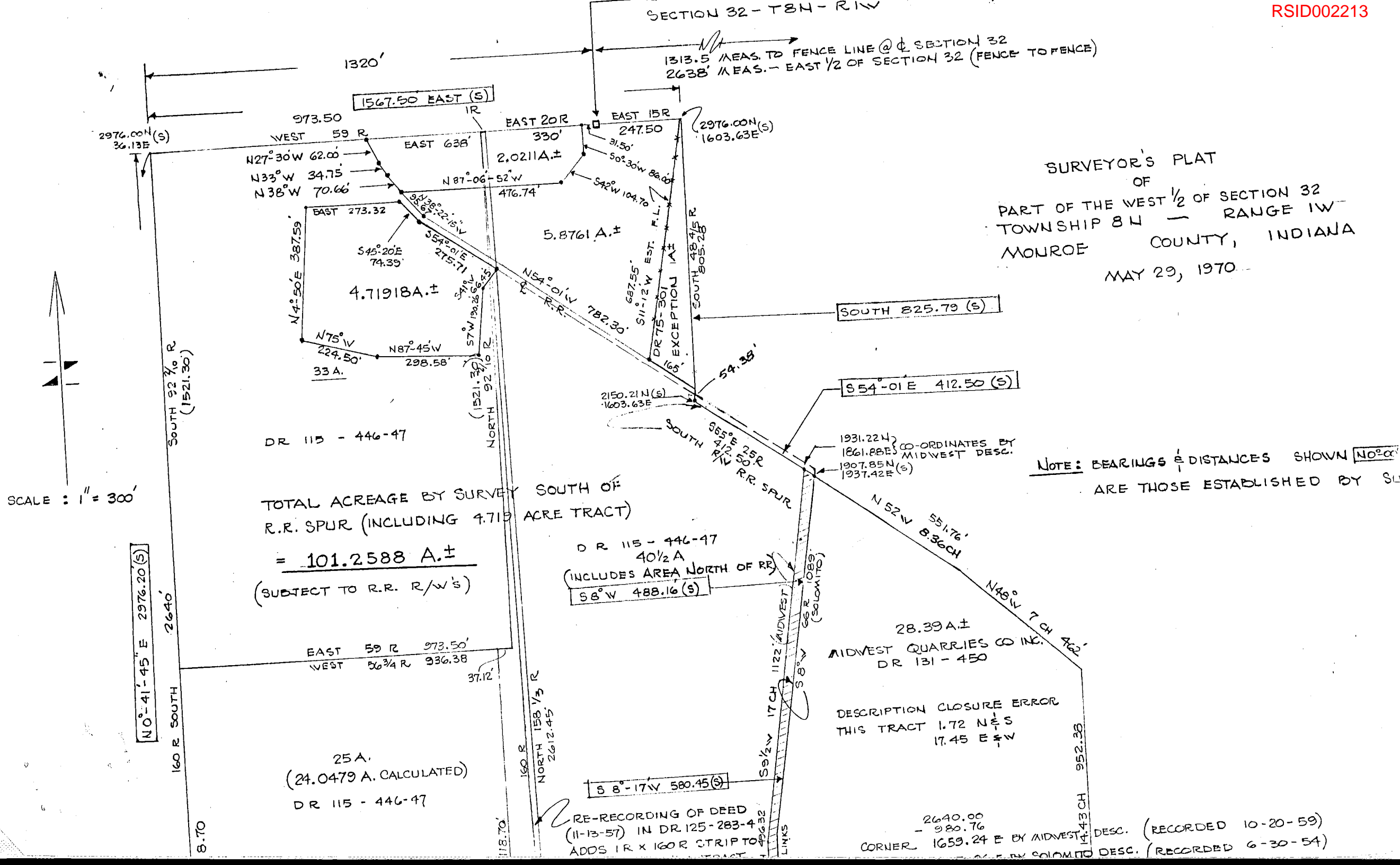


## SOLOMITO DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 8 NORTH, RANGE 1 WEST, MONROE COUNTY, INDIANA, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT THAT IS 31.50 FEET WEST OF THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE SAID SECTION 32, SAID POINT BEING ON THE NORTH LINE OF THE SAID QUARTER AND ON THE CENTERLINE OF DILLMAN ROAD, THENCE EAST, OVER AND ALONG THE NORTH LINE OF THE SAID QUARTER, FOR A DISTANCE OF 279.00 FEET, THENCE SOUTH  $11^{\circ} 12'$  WEST FOR A DISTANCE OF 687.55 FEET, THENCE NORTH  $54^{\circ} 01'$  WEST FOR A DISTANCE OF 782.30 FEET, OVER AND ALONG THE NORTH RIGHT-OF-WAY OF A RAILROAD SPUR TRACK, THENCE NORTH  $38^{\circ} 22' 15''$  WEST FOR A DISTANCE OF 95.67 FEET, THENCE SOUTH  $87^{\circ} 06' 52''$  EAST FOR A DISTANCE OF 476.74 FEET, THENCE NORTH  $42^{\circ} 00'$  EAST FOR A DISTANCE OF 104.70 FEET, THENCE NORTH  $0^{\circ} 30'$  EAST FOR A DISTANCE OF 86.00 FEET, AND TO THE PLACE OF BEGINNING. CONTAINING 5.8761 ACRES, MORE OR LESS.

*Monon mill to Joe -  
also Lease - this desc*

Sec 32

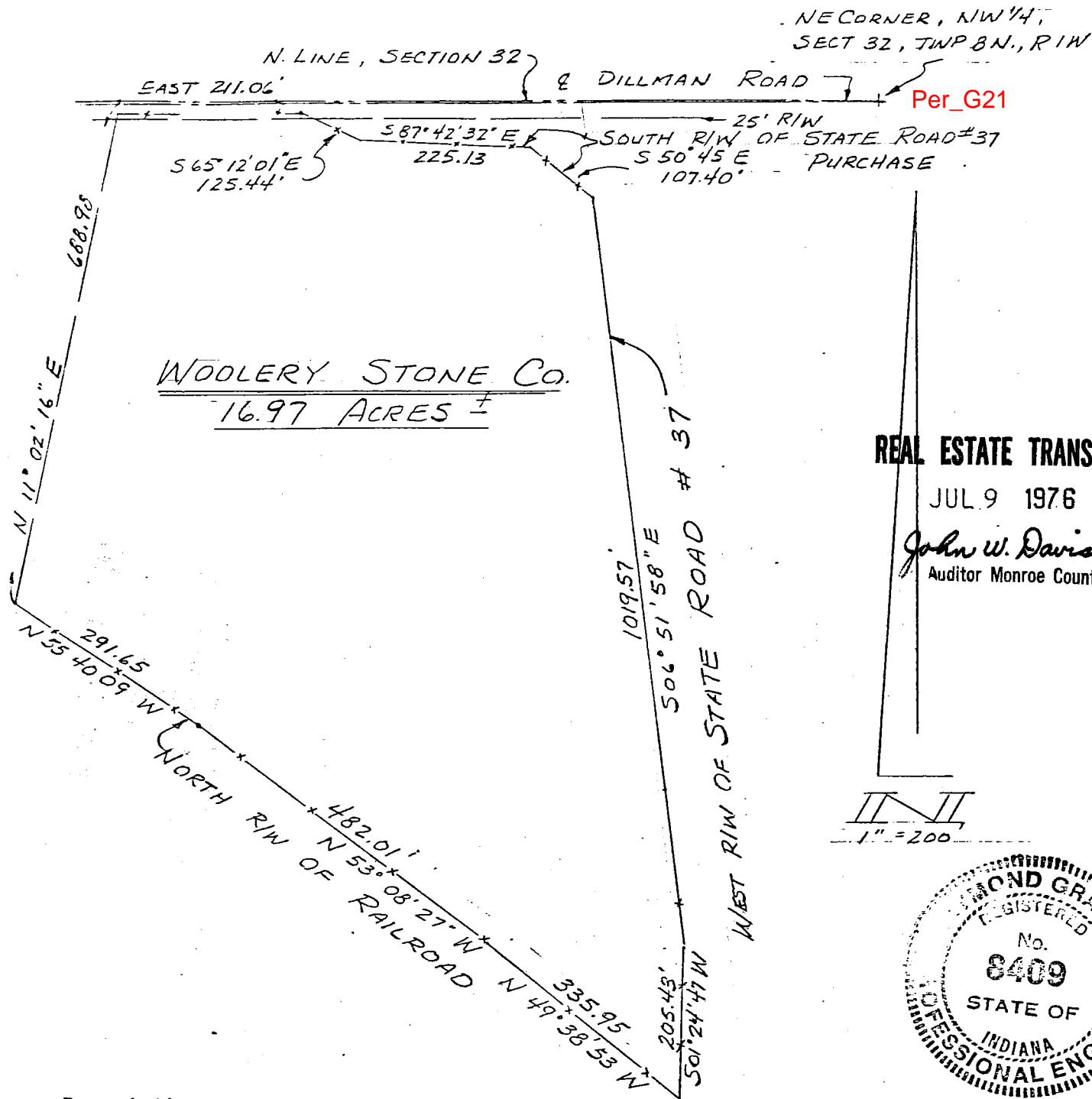


Woolery Stone Co to Benckart & Bruner

RAYMOND GRAHAM  
3215 N. SMITH PIKE  
BLOOMINGTON, INDIANA 47401  
R.P.E. 8409 INDIANA

Sec 32 - Perry Twp

April 1, 1976



REAL ESTATE TRANSFER

JUL 9 1976

John W. Davis  
Auditor Monroe County, Ind.

1" = 200'



Description;

A part of the Northwest Quarter of Section 32, Township 8 North, Range 1 West, Monroe County, Indiana described as follows; beginning at a point that is on the North line of the said Northwest Quarter that is 831.10 feet West of the Northeast corner of the said Northwest quarter, said point being in Dillman Road; thence leaving the said North line and running South 65 degrees 12 minutes 01 second East for 125.44 feet and to a point on the South line of State Road 37 purchase; thence South 87 degrees 42 minutes 32 seconds East on South right-of-way of State Road purchase for 225.13 feet; thence South 50 degrees 45 minutes East on said South right-of-way line for 107.40 feet and to the West right-of-way of State Road 37; thence South 06 degrees 51 minutes 58 seconds East on said West right-of-way line for 1019.57 feet; thence South 01 degree 15 minutes 26 seconds West on said West right-of-way line for 205.43 feet and to the North right-of-way line of the Monon Railroad switchtrack; thence along the said North right-of-way line of Railroad for the following directions and dimensions: North 49 degrees 38 minutes 53 seconds West for 335.95 feet; North 53 degrees 08 minutes 27 seconds West for 482.01 feet; North 55 degrees 40 minutes 09 seconds West for 291.65 feet; thence leaving the said North right-of-way line of Railroad and running North 11 degrees 02 minutes 16 seconds East for 688.98 feet and to the North line of the Said Northwest quarter in Dillman Road; thence East along the North line of the said Northwest quarter and Dillman Road for 211.06 feet and to the point of beginning. Containing in all 16.97 acres more or less. Subject to a 25.00 foot easement along the North line of the said Northwest quarter and Dillman Road for the County Road right-of-way.

Raymond Graham

Sec 32

P. OF BEGINNING, 24' W  
 57.17' S OF NE CORNER,  
 E  $\frac{1}{2}$  OF NW  $\frac{1}{4}$   
 SECT. 32, T8N R1W  
 NE CORNER,  
 E  $\frac{1}{2}$ , NW  $\frac{1}{4}$   
 SECT 32 T8N R1W  
 Per\_G21

WOULEY STONE Sec 32

to B + B transfer

**DESCRIPTION:**

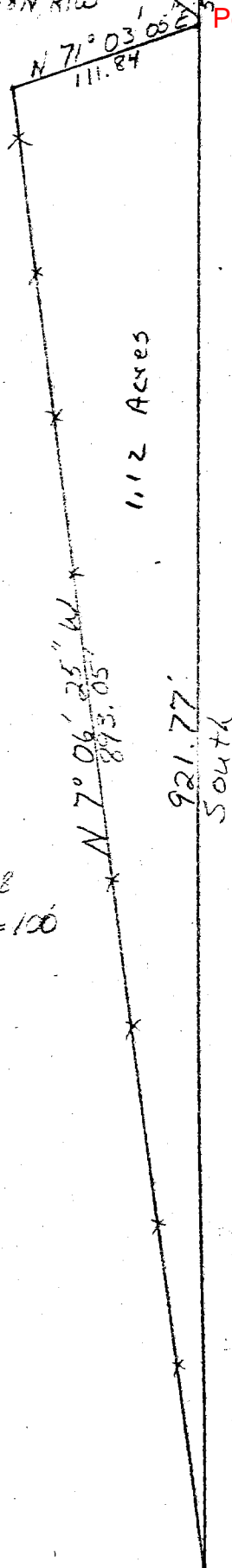
A part of the East Half of the Northwest quarter of  
 Section 32, Township 8 North, Range 1 West, Monroe County,  
 Indiana, described as follows: Beginning at a point 24.00  
 feet West and 57.17 feet South of the Northeast corner of  
 the said half quarter, thence South for 921.77 feet, thence  
 North 07 degrees 06 minutes 25 seconds West for 893.05 feet,  
 thence North 71 degrees 03 minutes 05 seconds East for  
 111.84 feet and to the point of beginning. Containing in  
 all 1.12 acres, more or less.



*Raymond Graham*

Raymond Graham  
 R.P.E. 8409 Indiana  
 3215 N. Smith Pike  
 Bloomington, Indiana  
 August 15, 1978

8-14-78  
 SCALE 1"=100'



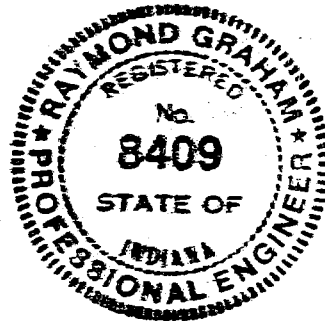


Per G21 Pt. of Beginning  
NE CORNER, E2-NW1/4  
SECT 32, T8N, R1W

MIDWEST QUARRIES  
H-R  
to  
B + B Transfer  
Sec 32

DESCRIPTION:

A part of the East Half of the Northwest quarter of Section 32, Township 8 North, Range 1 West, Monroe County, Indiana, described as follows: Beginning at the Northeast corner of the said half quarter, said corner being in the centerline of Dillman Road, thence South leaving Road centerline for 778.71 feet, thence West for 24.00 feet, thence North for 778.91 feet to the centerline of said Road, thence running along said road centerline East for 24.00 feet to the point of beginning. Containing in all 0.54 acre, more or less. Subject to a 25 foot right-of-way along said County Road.

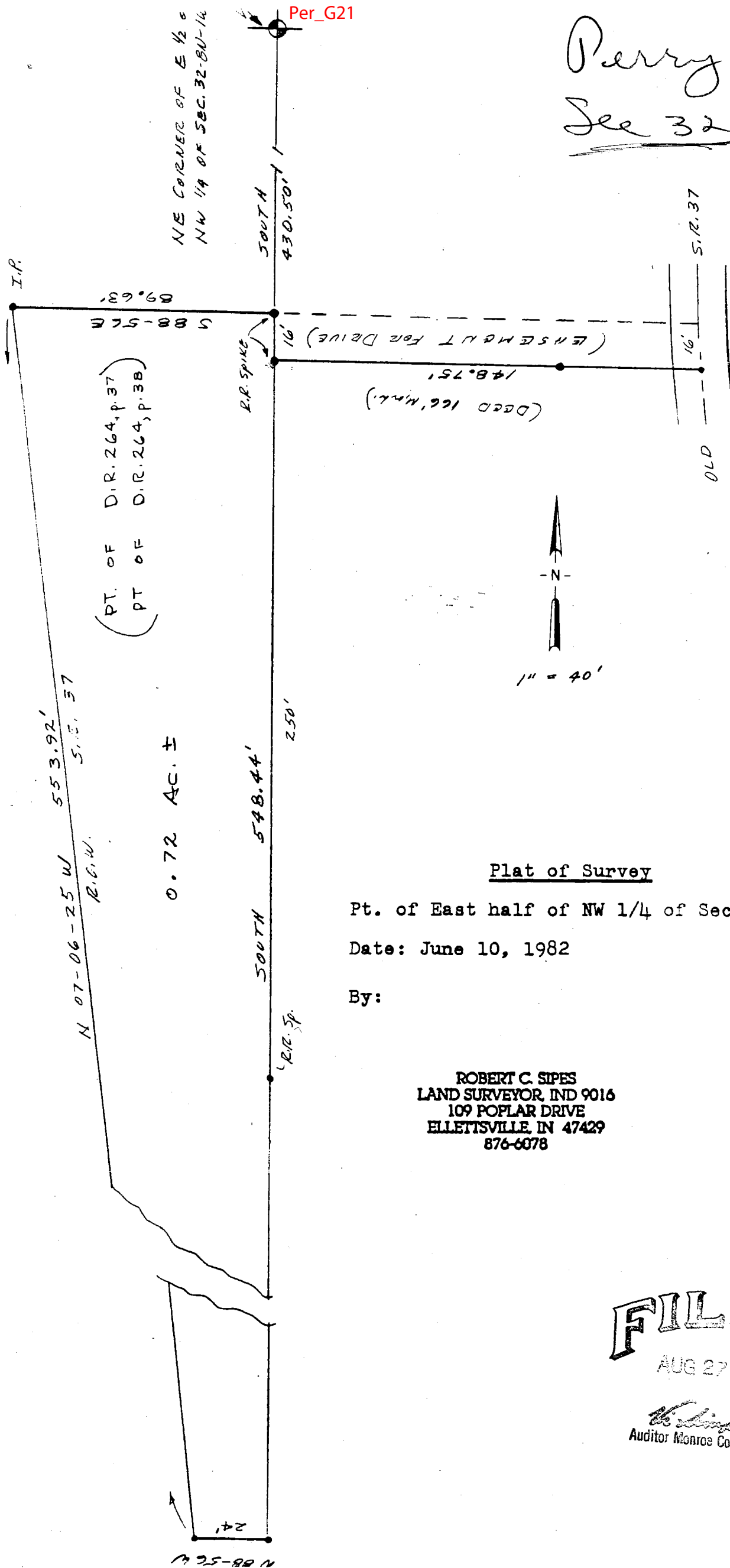


Raymond Graham  
Raymond Graham  
R.P.E..8409 Indiana  
3215 N. Smith Pike  
Bloomington, Indiana  
August 15, 1978

8-14-78  
1"=100'  
N 778.91 S  
H 24.00 E  
SOUTH



Perry  
See 32



See 32

Pt. of East half of NW 1/4 of Sec. 32-8N-1W

Date: June 10, 1982

By:

ROBERT C. SIPES  
LAND SURVEYOR, IND 9016  
109 POPLAR DRIVE  
ELLETSVILLE, IN 47429  
876-6078

**FILED**  
AUG 27 1982

*[Signature]*  
Auditor Monroe County, Indiana

Plat of Survey Cont'd:

For: B & B Transfer

Date: June 10, 1982

Tract to be conveyed:

A part of the East half of the Northwest quarter of Section 32, Township 8 North, Range 1 West, Monroe County, Indiana, described as follows:

Beginning at a point on the East line of said half quarter section, said point being 430.50 feet South of the Northeast corner thereof; thence on said East line South 548.44 feet; thence North 88 degrees 56 minutes West 24.00 feet to a point on the Easterly right-of-way line of State Road number 37; thence on said right-of-way North 07 degrees 06 minutes 25 seconds West 553.92 feet; thence South 88 degrees 56 minutes East 89.63 feet to the point of beginning, containing 0.72 acre, more or less.

Easement:

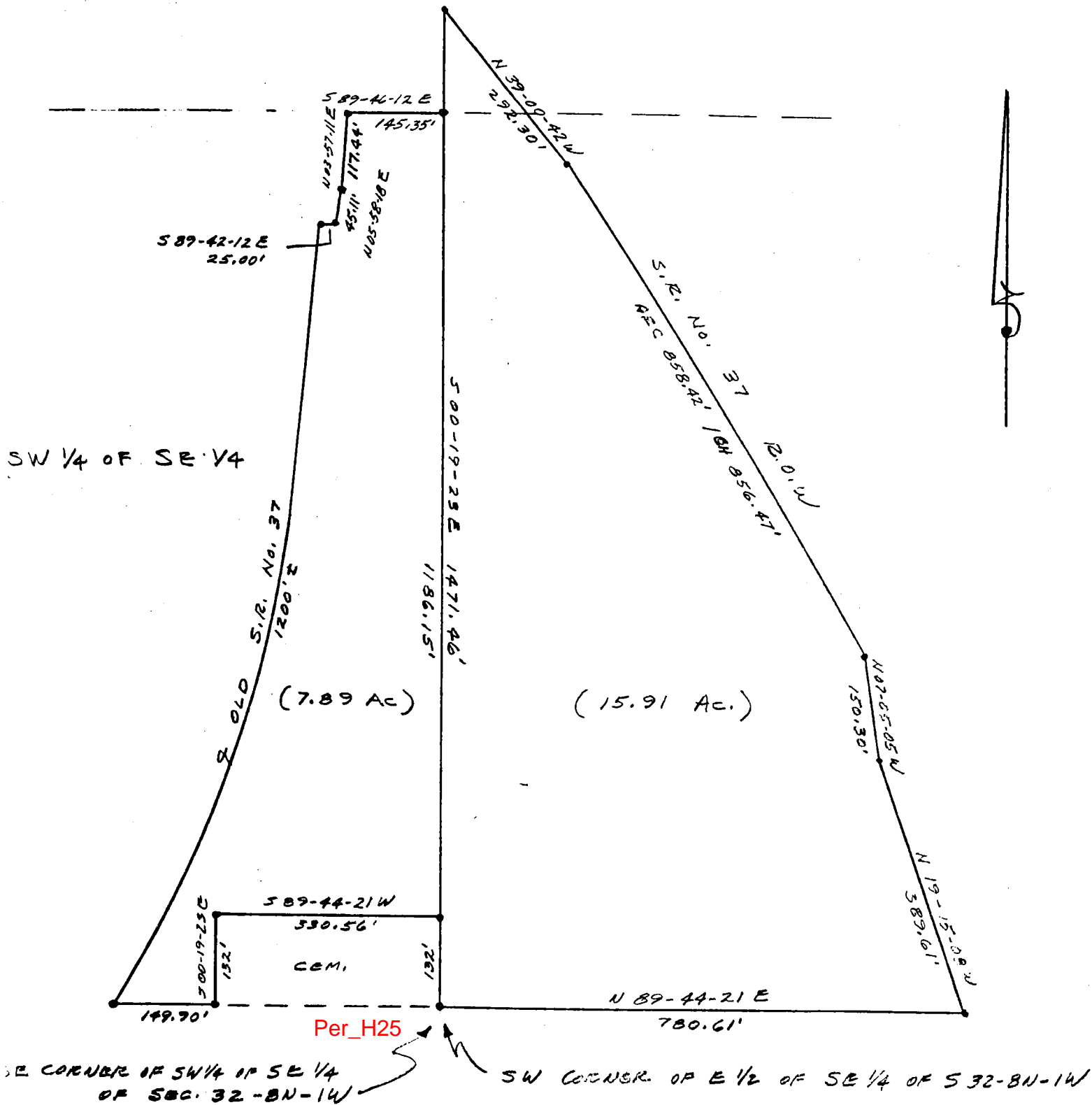
NOT USED

~~An Easement for the purpose of Ingress and Egress to lands heretofore conveyed, said easement being Sixteen (16) feet of even width off the South side of a Two and one-tenth Acre Tract heretofore conveyed to B & B Transfer of Monroe County, Inc. by South Hoosier Corporation and being recorded in Deed Record \_\_\_\_\_ page \_\_\_\_\_~~

Survey and Descriptions By:

ROBERT C. SIPES  
LAND SURVEYOR, IND 9016  
109 POPLAR DRIVE  
ELLETTSVILLE, IN 47429  
876-6078

Sec 32



ROBERT C. SIPES  
LAND SURVEYOR, IND 9016  
109 POPLAR DRIVE  
ELLETTSVILLE, IN 47429  
876-6078

SEPTEMBER 1, 1982  
REGISTERED  
No. 9016  
STATE OF  
INDIANA  
LAND SURVEYOR

Legal Description for ILCO/OBR, et al

A part of the East one half of the Southeast quarter of Section 32, Township 8 North, Range 1 West, Monroe County, Indiana, described as follows: Beginning at the Southwest corner of said half quarter section, thence on the South line of said half quarter section North 89 degrees 44 minutes 21 seconds East 780.61 feet to the Westerly right-of-way of State Road No. 37; thence on said Westerly right-of-way with the following courses and distances: North 19 degrees 15 minutes 08 seconds West 389.61 feet; North 07 degrees 05 minutes 05 seconds West 150.30 feet; Northwesterly 858.42 feet along an arc to the left and having a radius of 3674.72 feet and subtended by a long chord having a bearing of North 32 degrees 19 minutes 10 seconds West and a length of 856.47 feet; North 39 degrees 00 minutes 42 seconds West 292.30 feet to the West line of said half quarter section; thence leaving said right-of-way, South 00 degrees 19 minutes 23 seconds East 1471.46 feet on said West line to the point of beginning, containing 15.91 acres, more or less.

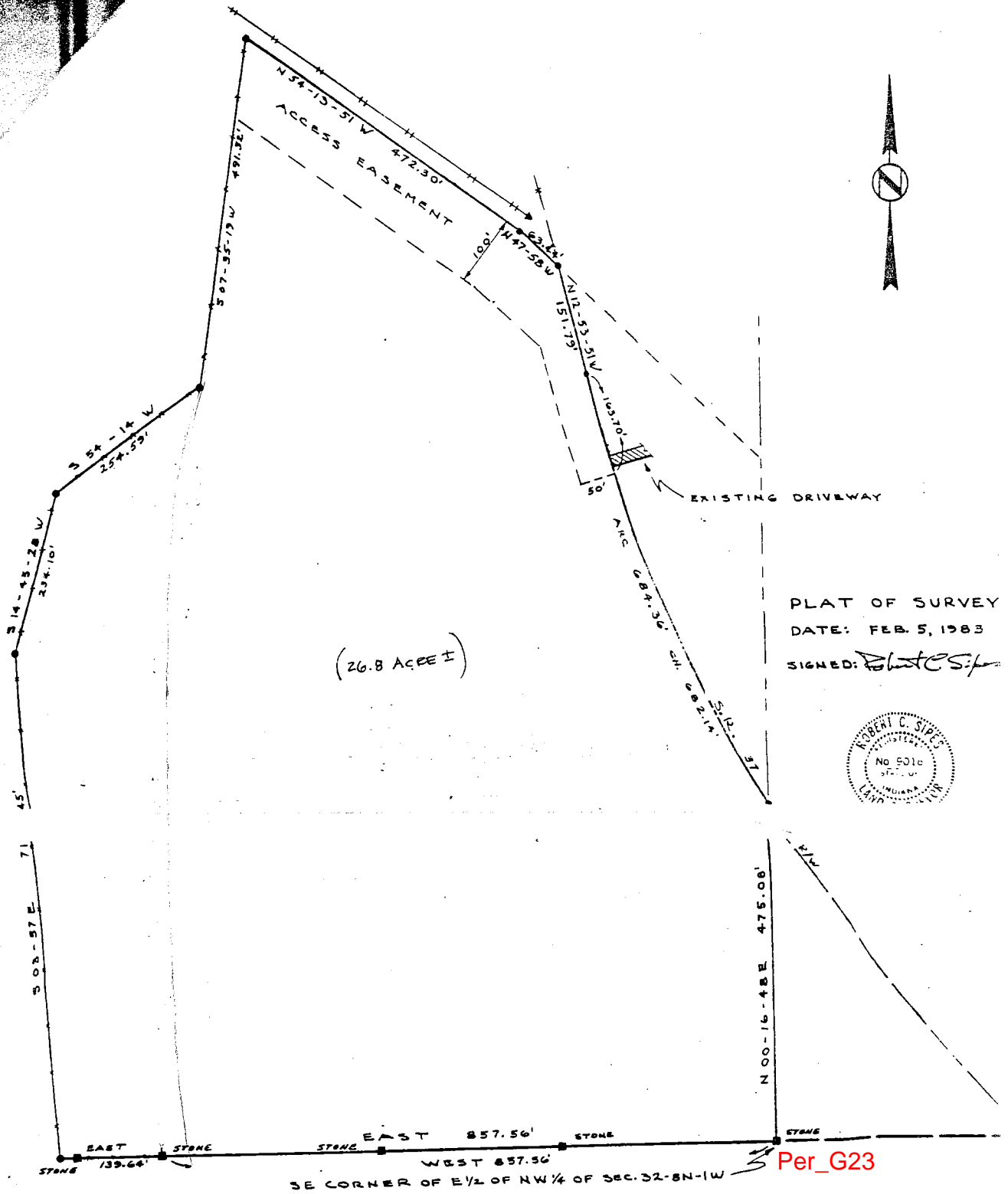
Also, a part of the Southwest quarter of the Southeast quarter of Section 32, Township 8 North, Range 1 West, described as follows:

Commencing at the Southeast corner of said quarter quarter, thence North 00 degrees 19 minutes 23 seconds West 132.00 feet; thence South 89 degrees 44 minutes 21 seconds West 330.56 feet; thence South 00 degrees 19 minutes 23 seconds East 132.00 feet to the South line of said quarter quarter section; thence South 89 degrees 44 minutes 21 seconds West to the centerline of Old State Road No. 37; thence Northerly 1200.00 feet, more or less, on said centerline to a point that is 161.34 feet South and 183.14 feet West of the Northeast corner of the aforesaid quarter quarter section; thence South 89 degrees 46 minutes 12 seconds East 25.00 feet; thence North 05 degrees 58 minutes 18 seconds East 45.11 feet; thence North 03 degrees 57 minutes 11 seconds East 117.44 feet; thence South 89 degrees 46 minutes 12 seconds East 145.35 feet to the Northeast corner of said quarter quarter section; thence South 00 degrees 19 minutes 23 seconds East 1186.15 feet to the point of beginning, containing 7.89 acres, more or less.

Date: September 17, 1982

ROBERT C. SIPES  
LAND SURVEYOR, IND 9016  
109 POPLAR DRIVE  
ELLETTSVILLE, IN 47429  
876-6078

Land Surveyor *Sec 32*  
Ph. 876-6078

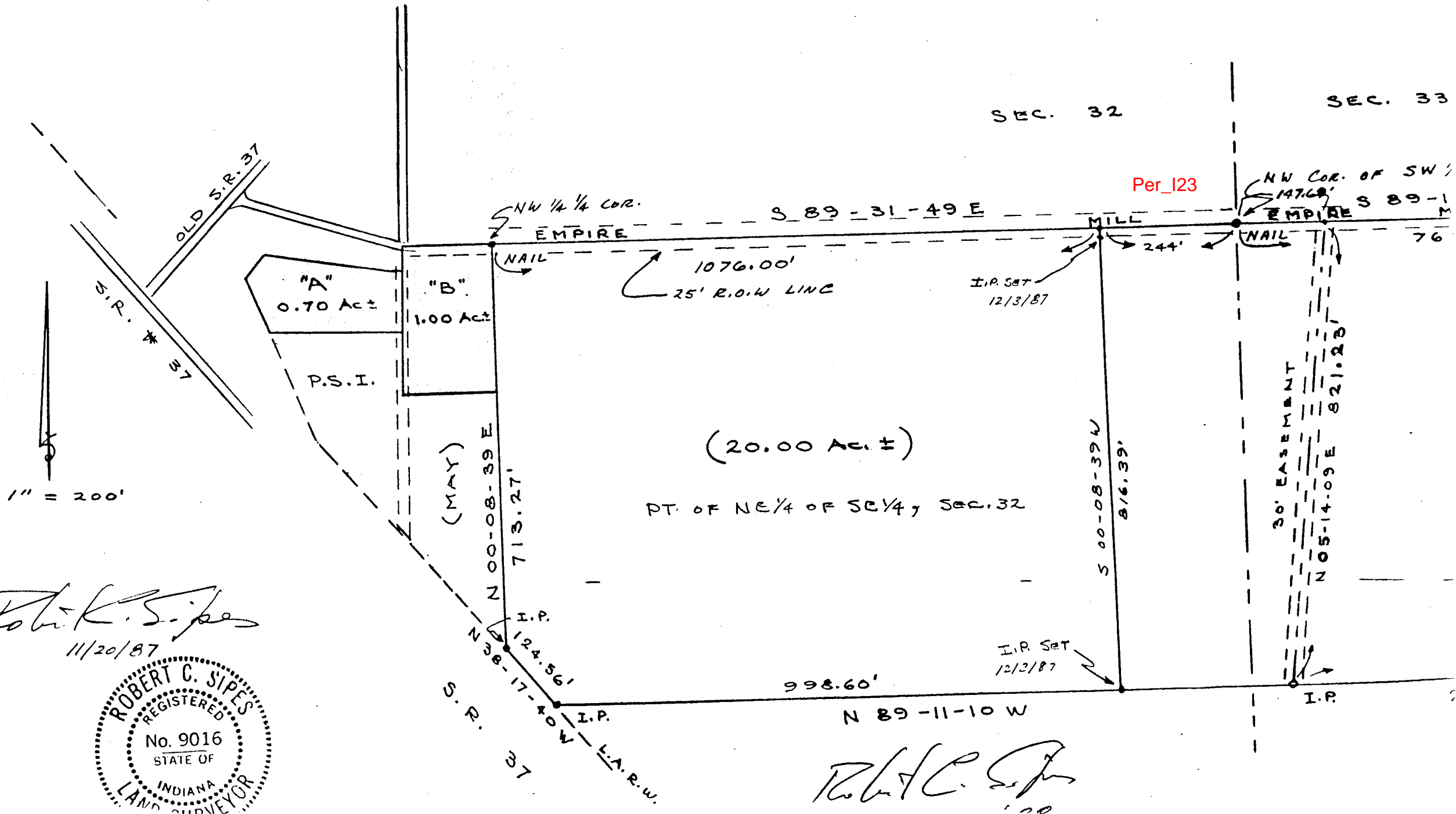


**FILED**

MAR 31 1983

*Robert C. Sip's*  
Auditor: Monroe County, Indiana

PERRY TWP SECTION 32  
WRIGHT TO SOUTHSIDE CHRISTIAN CHURCH.





in accordance with Title 864, Article 11, Chapter 13, Section 1 through 34 of the Indiana Administrative Code, the following observations and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established on this survey as a result of:

- a) Variances In the reference monuments;
- b) Discrepancies In record descriptions and plats;
- c) Inconsistencies In lines of occupation and;
- d) Random Errors in Measurement (Theoretical Uncertainty).

The Theoretical Uncertainty (due to random errors in measurement) of the corners of the subject tract established this survey is within the specifications for a Class C Survey (0.50 feet) as defined in IAC 864.

This survey was performed at the request of The National Salvage Company. The property is currently in the name of James Ferguson (Deed Record 185, page 36).

A survey was provided by the client from Raymond Graham. The survey was not dated and there was no reference of corners being set.

Corpora Found:

1. Southwest corner, Northeast quarter, Section 32; stone with "A" in the top.
2. Northwest corner, Northeast quarter, Section 32; P.K. nail.
3. Northeast corner, Northeast quarter, Section 32; P.K. nail.
4. Northeast corner, Northeast quarter, Section 5; limestone monument.
5. Point on South line, Section 32; Prallrebar.
6. Right-of-way monuments along State Road 37.
7. As-built centerline of Emble Road.

Need Analysis:

d. Analysis:  
There were no overlaps or gaps with adjoining deeds.

Establishment of Lines and Corners:

The east line was established per deed as the as-built centerline of Empire Mill Road.

The Southerly and Westerly lines were established from the found State Highway right-of-way monuments.

The North line was established by first establishing the North line of the Southwest quarter of the Northeast quarter. This line was established by subdividing the quarter section from the points found.

There is a fence line that meanders along the North property line. Measurements to this fence are shown on details.

- There is also a utility line which runs along the Eastern boundary. No easement was provided for this utility.

Subject to the above observations, it is my opinion that the uncertainties in the location of the lines and corners established on this survey are as follows:

Due to variances in reference monuments; from 0.4 feet to 4.02 feet between right-of-way monuments found versus record. 1.0 feet along Empire Mill Road due to as-built variance.

Due to discrepancies in the record description: none.

Due to Inconsistencies on lines of occupation: fence along North line as shown.

DESCRIPTION  
Job 0463

Commencing at a stone at the Southwest corner of the Southwest quarter of the Northeast quarter; thence NORTH 90 degrees 00 minutes 00 seconds EAST along the South line of said quarter-quarter, 146.76 feet; thence NORTH 01 degree 11 minutes 43 seconds EAST, 65.30 feet to a railroad spike in the centerline of Empire Road and the point of beginning; thence NORTH 87 degrees 11 minutes 17 seconds WEST, 17.92 feet to a concrete right-of-way monument; thence NORTH 78 degrees 51 minutes 32 seconds WEST, 207.62 feet to a concrete right-of-way monument; thence NORTH 44 degrees 40 minutes 52 seconds WEST, 140.09 feet to a concrete right-of-way monument; thence NORTH 26 degrees 12 minutes 19 seconds WEST, 138.61 feet to a concrete right-of-way monument; thence NORTH 17 degrees 43 minutes 13 seconds WEST, 103.40 feet to a 4" rebar; thence NORTH 83 degrees 35 minutes 58 seconds EAST, 662.48 feet to a railroad spike in the centerline of Empire Road; thence the next five (5) courses being along said centerline;

- 1.) SOUTH 00 degrees 07 minutes 44 seconds EAST, 244.79 feet;
- 2.) SOUTH 02 degrees 23 minutes 41 seconds WEST, 258.73 feet;
- 3.) SOUTH 05 degrees 55 minutes 52 seconds EAST, 229.77 feet;
- 4.) SOUTH 10 degrees 52 minutes 10 seconds EAST, 200.71 feet;

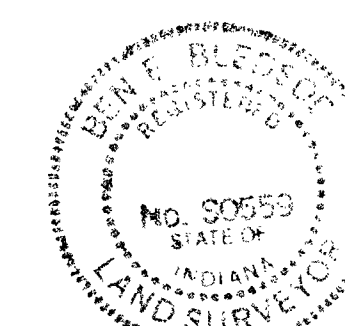
5.) SOUTH 02 degrees 42 minutes 17 seconds WEST, 252.04 feet to the point of beginning, containing 12.69 acres, more or less.

Standards observed and used on this project conform to Minimum Standard Detail Requirements for Indiana Land Title Surveys as adopted January 16, 1970 by the Indiana Society of Professional Land Surveyors and as endorsed October 27, 1970 by the Indiana Land Title Association.

Subject to being provided a title commitment, I hereby certify to National Salvage that the survey work performed on the project shown hereon was performed either by me or under my direct supervision and control, and that all information shown is true and correct to the best of my knowledge and belief.

Certified this 14<sup>th</sup> day of December, 1994.

Ben E. Bledsoe  
Registered Land Surveyor No. S0559  
State of Indiana



Bledsoe Tapp & Co., Inc.  
359 Landmark Avenue  
Bloomington, IN 47404  
(812) 336-8277

LAND TITLE SURVEY

FOR  
NATIONAL SALVAGE

DESIGNED BY: POT

DRAWN BY: DCK

CHECKED BY: BEB

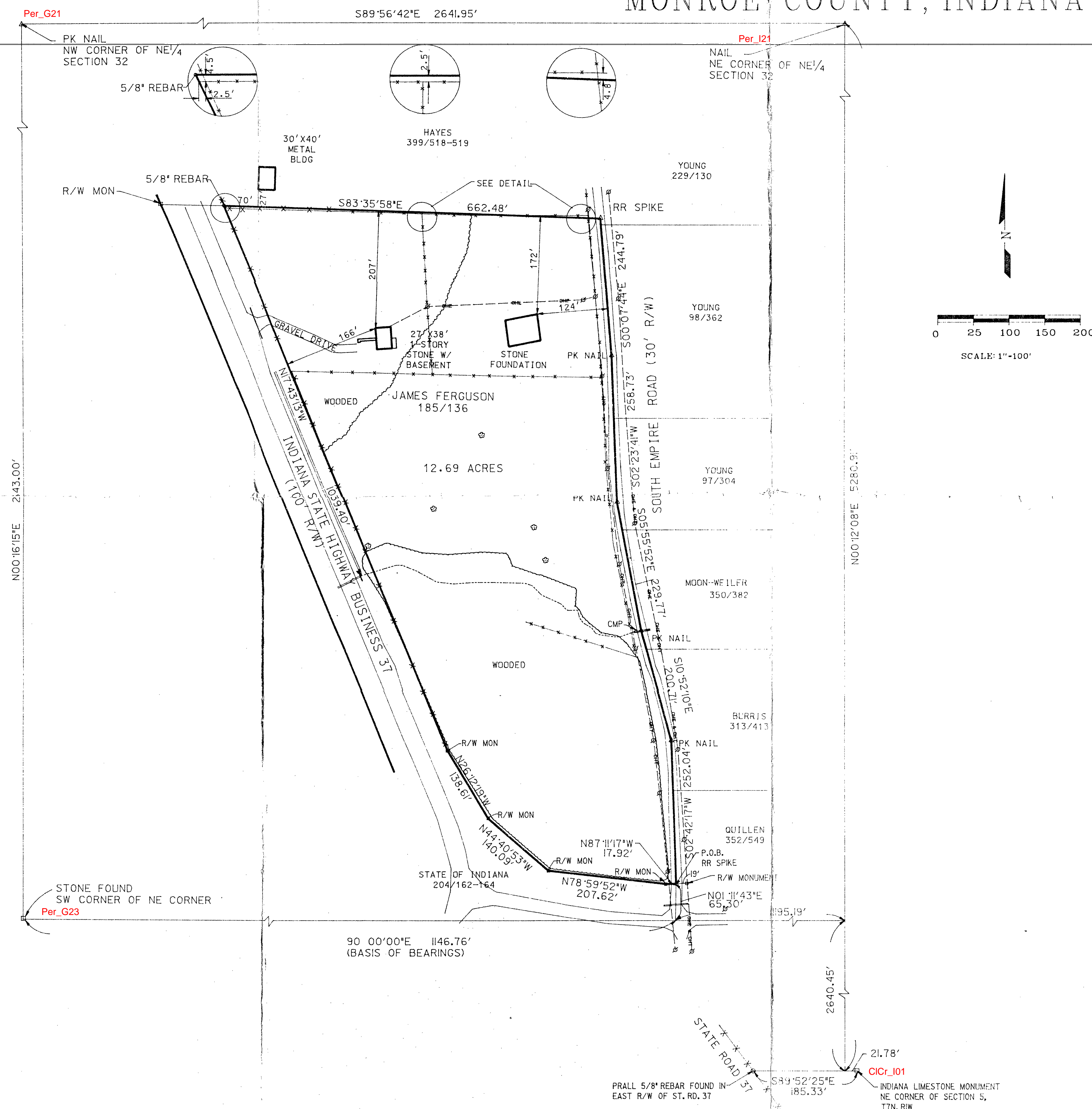
DATE 09-30-1994

NATIONAL SALVAGE		
POT		

1 OF 1

OF

94	DATE SEPT. 30, 1994	JOB# 0483
----	---------------------	-----------





OWNERS OF RECORD: DAVID M. & DEBRA CHANDLER  
481 E. EMPIRE MILL ROAD  
BLOOMINGTON, IND. 47401  
PHONE #: (812) 824-4363

DR. 456, PG. 440

CHESTER & WILMA CHANDLER  
511 E. EMPIRE MILL ROAD  
BLOOMINGTON, IND. 47401  
PHONE #: (812) 824-7686

DR. 104, PG. 506

DR. 156, PG. 442

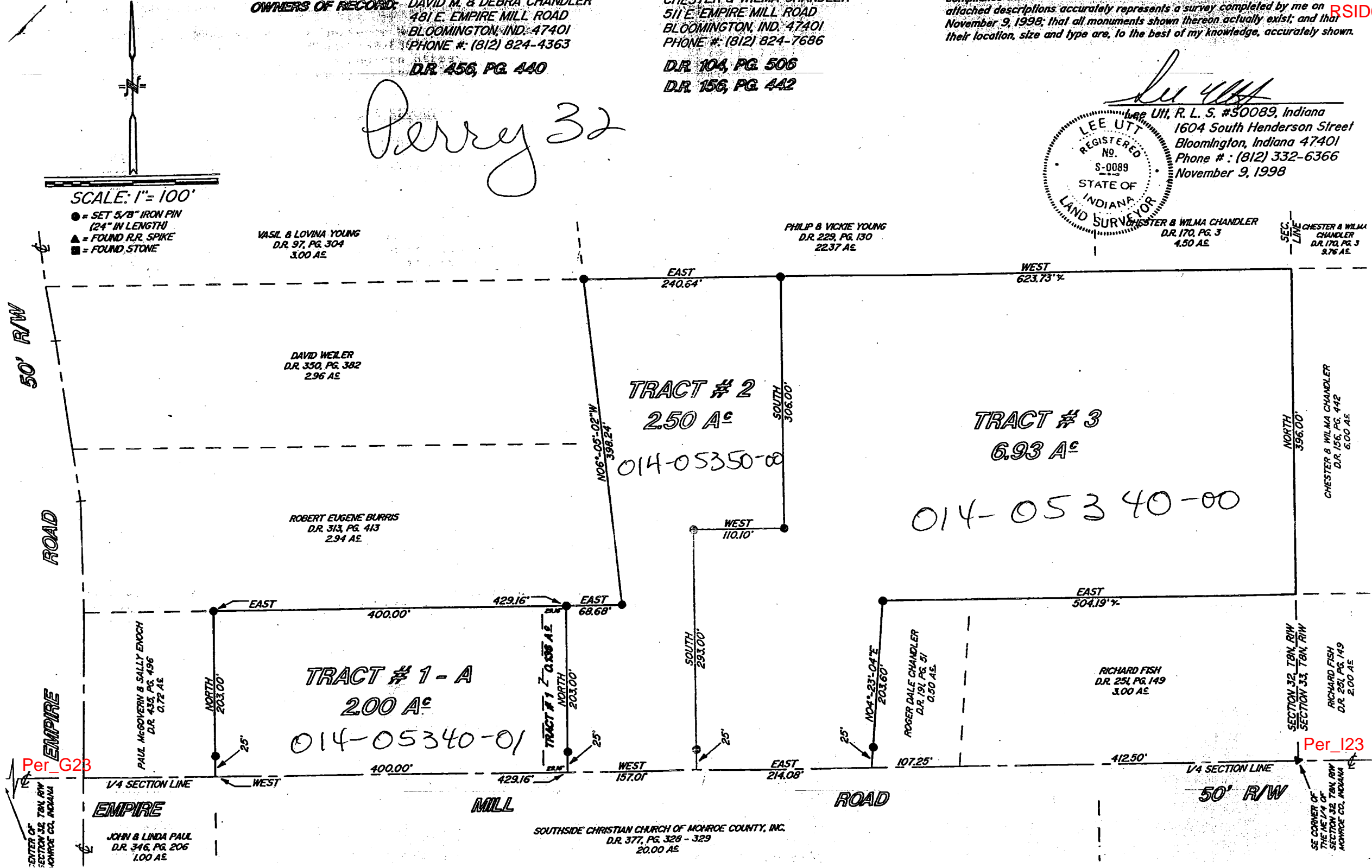
attached descriptions accurately represents a survey completed by me on November 9, 1998; that all monuments shown thereon actually exist; and that their location, size and type are, to the best of my knowledge, accurately shown.

RSID002218

Perry 32

Lee Utt, R. L. S. #50089, Indiana  
1604 South Henderson Street  
Bloomington, Indiana 47401  
Phone #: (812) 332-6366  
November 9, 1998

LEE UTT  
REGISTERED  
No. S-0089  
STATE OF INDIANA  
LAND SURVEYOR



PHILIP & VICKIE YOUNG  
D. R. 229, PG. 130  
22.37 AC

CHESTER & WILMA CHANDLER  
D. R. 170, PG. 3  
4.50 AC

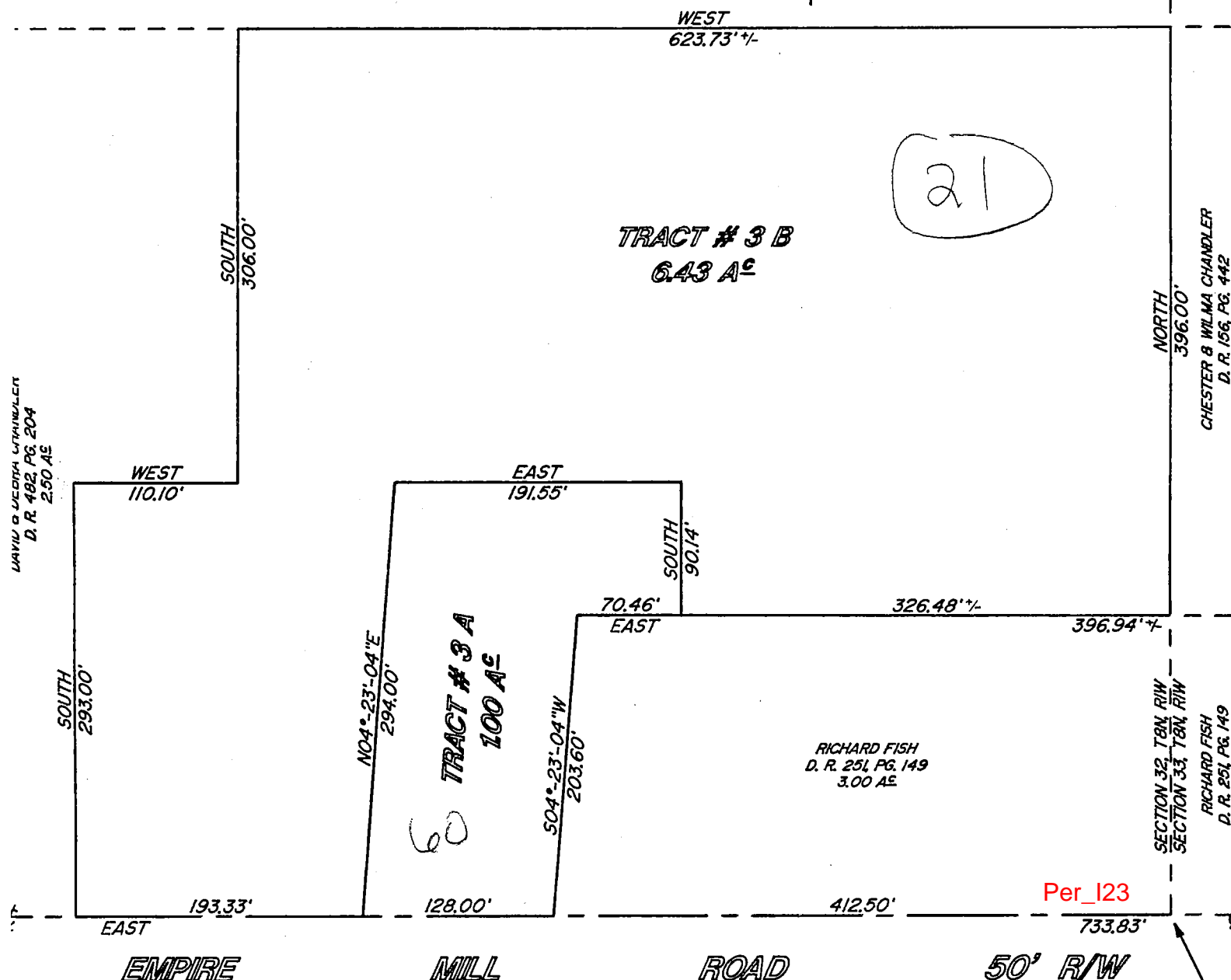
CHESTER & WILMA  
CHANDLER  
D. R. 170, PG. 3

CHESTER & WILMA CHANDLER  
D. R. 156, PG. 442

RICHARD FISH  
D. R. 251, PG. 149

SE CORNER OF  
THE NE 1/4 OF  
SECTION 32, T8N, R1W

LAWRENCE & VICTORIA LUTHEWILL  
D. R. 482, PG. 204  
2.50 AC



SOUTHSIDE CHRISTIAN CHURCH OF MONROE COUNTY, INC.  
D. R. 377, PG. 328 - 329  
20.00 AC

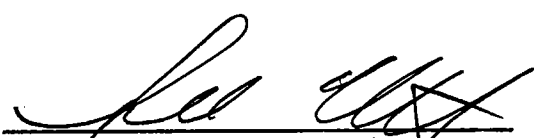
OWNERS OF RECORD: ROGER DALE CHANDLER  
551 EAST EMPIRE MILL ROAD  
BLOOMINGTON, INDIANA 47401  
PHONE #: (812) 824-7683

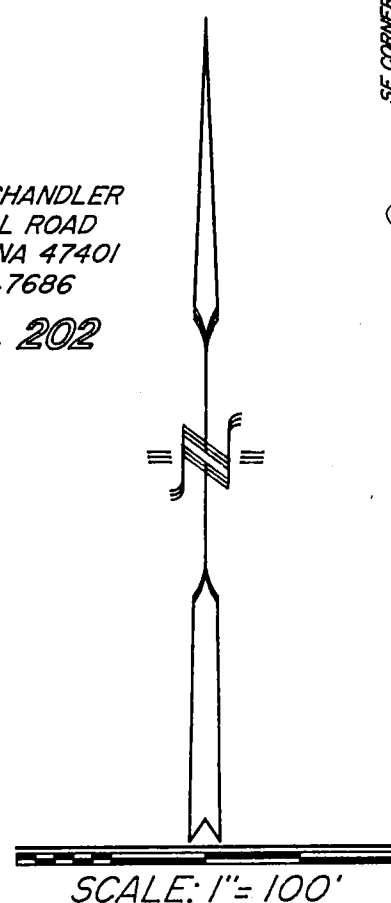
D. R. 191, PG. 51

CHESTER & WILMA CHANDLER  
511 EAST EMPIRE MILL ROAD  
BLOOMINGTON, INDIANA 47401  
PHONE #: (812) 824-7686

D. R. 482, PG. 202

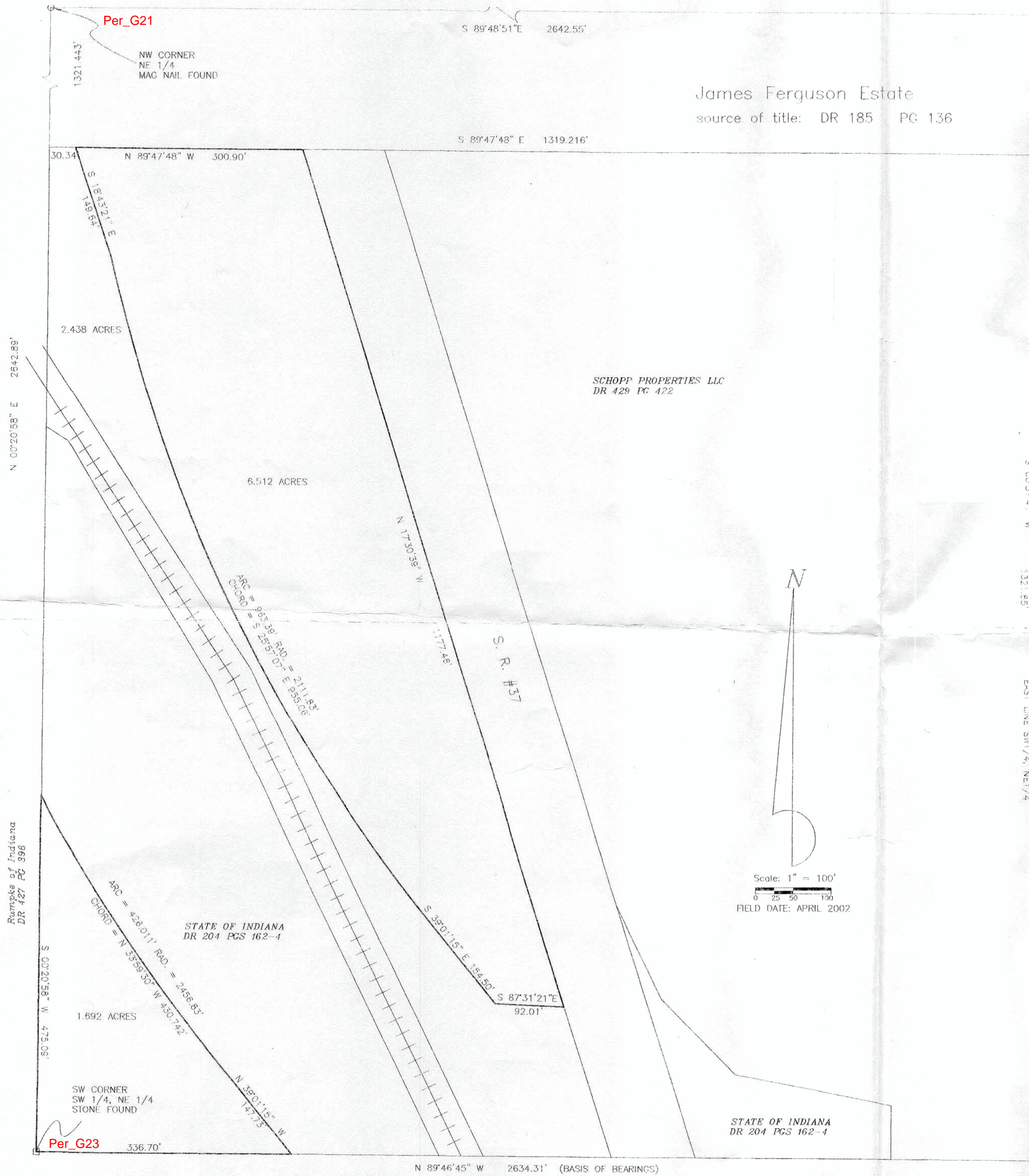
SURVEYOR'S NOTE: THIS PLAT AND ATTACHED DESCRIPTIONS  
ARE BASED ON DATA SHOWN IN DOCUMENTS  
OF PUBLIC RECORDS AND ARE NOT THE  
RESULT OF A COMPLETE FIELD SURVEY.

  
Lee Utt, R. L. S. #50089, Indiana  
1604 South Henderson Street  
Bloomington, Indiana 47401  
Phone #: (812) 332-6366  
April 30, 2001



01-80-28





A part of the Southwest quarter of the Northeast quarter of Section 32, Township 8 North, Range 1 West, Monroe County, Indiana described as follows: Beginning at a stone in the Southeast corner of the said quarter quarter section; thence along the West line of said quarter quarter section North 00 degrees 20 minutes 58 seconds East 475.09 feet to the West line of State Highway property; thence leaving the West line of the quarter quarter section and along the West line of State Highway property 426.11 feet along a curve with a radius of 2456.83 feet and a chord bearing South 33 degrees 59 minutes 30 seconds East 430.742 feet; to the South line of the said quarter quarter section; thence leaving State Highway property line and along the South line of said quarter quarter section North 89 degrees 46 minutes 45 seconds West 336.70 feet and to the point of beginning. Containing in all 1.692 acres.

ALSO: A part of the Southwest quarter of the Northeast quarter of Section 32, Township 8 North, Range 1 West, Monroe County, Indiana described as follows: Commencing at a stone at the Southeast corner of the said quarter quarter section; thence along the West line of quarter quarter section North 00 degrees 02 minutes 58 seconds East 1321.44 feet to the Northwest corner of the said quarter quarter section; thence along the North line of the said quarter quarter section South 89 degrees 47 minutes 48 seconds East 30.34 feet and to the point of beginning; thence continuing along the said North line South 89 degrees 47 minutes 48 seconds East 300.90 feet to the West line of Old State Road 37; thence along said West line South 17 degrees 30 minutes 39 seconds East 1177.46 feet to the Northeast line of State Highway property; thence leaving Old State Road 37 line and along state Highway property North 87 degrees 31 minutes 21 seconds West 92.01 feet; thence North 39 degrees 01 minutes 15 seconds West 154.50 feet to a curve to the right; thence 963.39 feet along curve with a radius of 2111.83 feet and a chord North 25 degrees 57 minutes 07 seconds West; thence North 18 degrees 43 minutes 21 seconds West 149.64 feet to the point of beginning. Containing in all 6.512 acres.

CAPTION: Retracement Survey, Part of North Half Section 32, Township 8 North, Range 1 West, Monroe County, Indiana.

CLIENT: Ted Ferguson

SOURCE OF TITLE: Dr 185 Pg 136

PURPOSE OF SURVEY: Describing Property with subtraction of State acquisition.

BASIS OF BEARING: State Highway bearings on purchase.

SURVEYOR REPORT (PER 865 IAC 12)  
Indiana State Administrative Code Requires Boundary Surveys to include a report by the surveyor presenting his opinion on the amount of uncertainty in the established boundary lines and corners. Causes of uncertainty and their consideration to this particular survey are as follows:

A. Availability and Condition of reference monuments.

1. Stone with 'X' found in Southwest corner of Southwest quarter of the Northeast quarter
2. Mag nail found in Northwest corner said quarter quarter.
3. Rail Road Spike in Northeast corner of Section.
4. Rail Road Spike in East quarter corner of Section.

B. Deed Descriptions.

1. Client's deed from 1968 had different basis of bearing and called for all interior angles to be 90 degrees. The measured angular relationship is as shown on the plat and these angles must be used to stay within the quarter quarter section.

2. State Highway purchase did not tie the two parcels together and commenced from two different corners. The measured distance of curve that intersects the West line of quarter quarter on north line of 1.692 acre parcel was approximately five feet shorter than the State's deeded call.

C. Occupation.

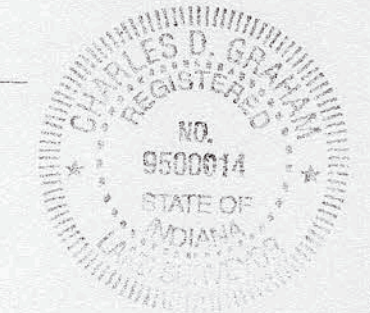
No occupation that causes uncertainty in boundaries noted this survey.

D. Theoretical Uncertainty.

Theoretical uncertainty due to instrument precision and implemented field techniques < 0.50 foot.  
Class of Survey = Class B as found in 865 IAC 12.

CERTIFICATION  
I certify that this survey was performed under the direction of myself, a Land Surveyor licensed in the State of Indiana, and to the best of my knowledge and belief was executed according to 865 IAC 12.

*C.D. Graham*  
C.D. Graham IN LS 9500014  
Graham Engineering P.C.  
615 W. Kirkwood Av.  
Bloomington, IN 47404-5162  
April 25, 2002  
Job # 02-110



SE CORNER  
NE 1/4  
SPIKE FOUND  
Per\_I23



# PLAT OF ALTA/ACSM LAND TITLE SURVEY

A PART OF THE SOUTHEAST QUARTER OF SECTION THIRTY-TWO (32), TOWNSHIP EIGHT (8) NORTH, RANGE ONE (1) WEST,  
SITUATED IN PERRY TOWNSHIP, MONROE COUNTY, INDIANA  
PARCELS 014-17250-03 & 014-26450-00 (ZONING DESIGNATION: LI - LIGHT INDUSTRIAL)

LIMESTONE WITH "+" (FOUND)  
MARKING THE CENTER OF SECTION  
32, T8N, R1W AND REFERENCED  
IN THE MONROE COUNTY  
SURVEYOR'S OFFICE ON A TIE  
SHEET DATED 1/27/1998

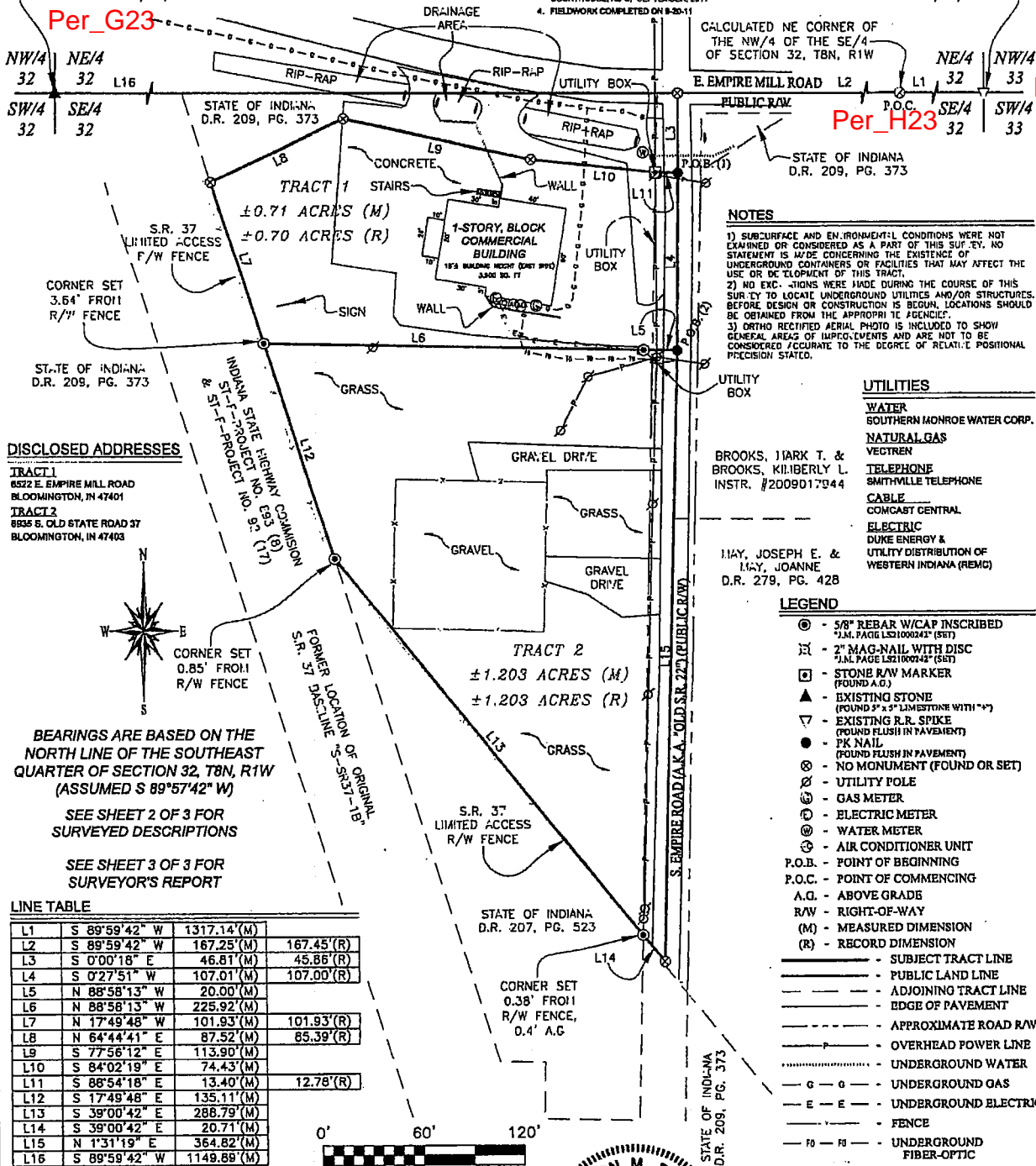
## OWNER OF RECORD

JOHN PAUL & LINDA O. PAUL  
INSTRUMENT #201009910 &  
INSTRUMENT #2011009210

## NOTES

1. THIS SURVEY INCOMPLETE WITHOUT THE ASSOCIATED SURVEYOR'S REPORT
2. ALL DIMENSIONS SHOWN ARE MEASURED UNLESS OTHERWISE NOTED
3. OWNERSHIP PER MONROE COUNTY GIS MAP MAINTAINED ONLINE, AND IN THE MONROE COUNTY COURTHOUSE, AS OF SEPTEMBER, 2011
4. FIELDWORK COMPLETED ON 8-20-11

R.R. SPIKE (FOUND) MARKING THE  
E-1/4 QUARTER CORNER OF  
SECTION 32, T8N, R1W AND  
REFERENCED IN THE MONROE  
COUNTY SURVEYOR'S OFFICE ON  
A TIE SHEET DATED 10/29/1997



Per\_G23

Per\_I23

Per\_H23

## DISCLOSED ADDRESSES

TRACT 1  
8522 E. EMPIRE MILL ROAD  
BLOOMINGTON, IN 47401  
TRACT 2  
8836 S. OLD STATE ROAD 37  
BLOOMINGTON, IN 47403

BROOKS, MARK T. &  
BROOKS, KILIBERY L.  
INSTR. #2009017944

HAY, JOSEPH E. &  
HAY, JOANNE  
D.R. 279, PG. 428

**NOTES**  
1) SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.  
2) NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES AND/OR STRUCTURES. BEFORE DESIGN OR CONSTRUCTION IS BEGUN, LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE AGENCIES.  
3) ORTHO RECTIFIED AERIAL PHOTO IS INCLUDED TO SHOW GENERAL AREAS OF IMPROVEMENTS AND ARE NOT TO BE CONSIDERED ACCURATE TO THE DEGREE OF RELATIVE POSITIONAL PRECISION STATED.

## UTILITIES

**WATER**  
SOUTHERN MONROE WATER CORP.  
**NATURAL GAS**  
VECTREN  
**TELEPHONE**  
SMITHVILLE TELEPHONE  
**CABLE**  
COMCAST CENTRAL  
**ELECTRIC**  
DUKE ENERGY &  
UTILITY DISTRIBUTION OF  
WESTERN INDIANA (REMC)

## LEGEND

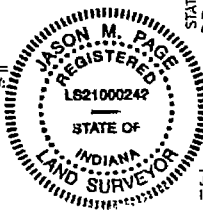
- - 5/8" REBAR W/CAP INSCRIBED "J.M. PAGE LS21000242" (SET)
- ⊕ - 2" MAG-NAIL WITH DISC "J.M. PAGE LS21000242" (SET)
- - STONE R/W MARKER (FOUND A.G.)
- ▲ - EXISTING STONE (FOUND 5' x 5" LIMESTONE WITH "+")
- ▽ - EXISTING R.R. SPIKE (FOUND FLUSH IN PAVEMENT)
- - PK NAIL (FOUND FLUSH IN PAVEMENT)
- ⊗ - NO MONUMENT (FOUND OR SET)
- ⊙ - UTILITY POLE
- ⊕ - GAS METER
- ⊖ - ELECTRIC METER
- ⊗ - WATER METER
- ⊕ - AIR CONDITIONER UNIT
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- A.G. - ABOVE GRADE
- R/W - RIGHT-OF-WAY
- (M) - MEASURED DIMENSION
- (R) - RECORD DIMENSION
- - - - - SUBJECT TRACT LINE
- - - - - PUBLIC LAND LINE
- - - - - ADJOINING TRACT LINE
- - - - - EDGE OF PAVEMENT
- - - - - APPROXIMATE ROAD R/W
- - - - - OVERHEAD POWER LINE
- - - - - UNDERGROUND WATER
- - - - - UNDERGROUND GAS
- - - - - UNDERGROUND ELECTRIC
- - - - - FENCE
- - - - - UNDERGROUND FIBER-OPTIC
- - - - - SUBJECT TRACTS

## LINE TABLE

L1	S 89°59'42" W	1317.14'(M)	
L2	S 89°59'42" W	167.25'(M)	167.45'(R)
L3	S 0°00'18" E	46.81'(M)	45.86'(R)
L4	S 0°27'51" W	107.01'(M)	107.00'(R)
L5	N 88°58'13" W	20.00'(M)	
L6	N 88°58'13" W	225.92'(M)	
L7	N 17°49'48" W	101.93'(M)	101.93'(R)
L8	N 64°44'41" E	87.52'(M)	85.39'(R)
L9	S 77°56'12" E	113.90'(M)	
L10	S 84°02'19" E	74.43'(M)	
L11	S 88°54'18" E	13.40'(M)	12.78'(R)
L12	S 17°49'48" E	135.11'(M)	
L13	S 39°00'42" E	288.79'(M)	
L14	S 39°00'42" E	20.71'(M)	
L15	N 1°31'19" E	364.82'(M)	
L16	S 89°59'42" W	1149.89'(M)	

## LAND TITLE CERTIFICATION

TO FIDELITY NATIONAL TITLE COMPANY, TITLEPLUS! AND EMPIRE HILL, LLC, AN INDIANA LIMITED LIABILITY COMPANY:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES ITEMS 1-4, 6-11(B), 13, 14, AND 16-19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 8/20/2011.  
PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF INDIANA, THE RELATIVE POSITIONAL PRECISION OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.



JASON M. PAGE  
INDIANA RLS NO. 21000242  
DATE 9/21/11

1 OF 3  
SHEET

DRAWN BY: JMP  
CHECKED BY: SAD  
DATE: 09-21-2011  
SCALE: 1" = 60'  
JOB NO.: 2011-002



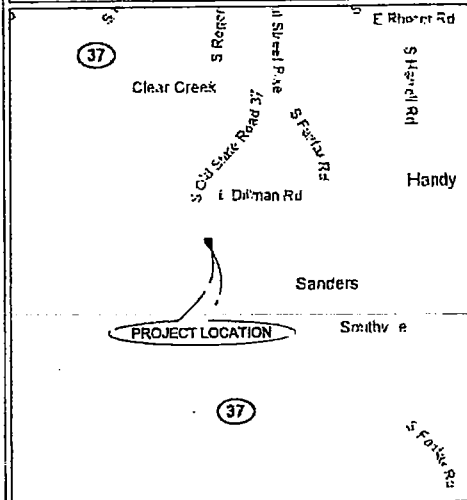
TRICO Surveying & Mapping, Inc.

441 West Gourley Pike, Bloomington, IN 47404  
Phone: 812-330-7030 Fax: 812-330-7035 Web: www.tricosurveying.com

ALTA/ACSM LAND TITLE SURVEY  
JOHN PAUL & LINDA O. PAUL  
PART OF SECTION 32, T8N, R1W, S. 1/4  
PERRY TOWNSHIP, MONROE COUNTY, INDIANA

Exhibit "B"

SEC 32-8-103



LOCATION: PART OF SECTION 32, T8N - R1W  
MONROE CO., INDIANA

SEE SHEET 1 OF 3 FOR PLAT OF SURVEY  
SEE SHEET 3 OF 3 FOR SURVEYOR'S REPORT

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 32, SAID POINT BEING SOUTH 89 DEGREES 59 MINUTES 42 SECONDS WEST, 1,317.14 FEET FROM A RAILROAD SPIKE MARKING THE EAST QUARTER CORNER OF SAID SECTION 32, THENCE SOUTH 89 DEGREES 59 MINUTES 42 SECONDS WEST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, 167.25 FEET TO A POINT IN THE INTERSECTION OF EAST EMPIRE MILL ROAD AND SOUTH EMPIRE ROAD (FORMERLY KNOWN AS "OLD STATE ROAD 22"); THENCE SOUTH 00 DEGREES 00 MINUTES 16 SECONDS EAST, IN SOUTH EMPIRE ROAD, 42.81 FEET TO A PK NAIL; THENCE SOUTH 00 DEGREES 27 MINUTES 51 SECONDS WEST, ALONG THE CENTERLINE OF SOUTH EMPIRE ROAD, 107.01 FEET TO A PK NAIL MARKING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE LEAVING SAID ROAD CENTERLINE, NORTH 88 DEGREES 58 MINUTES 13 SECONDS WEST, 20.00 FEET TO A 5/8" REBAR WITH CAP INSCRIBED "L&J PAGE L521000242" (AND HEREIN AFTER REFERRED TO AS AN "IRON MONUMENT"); THENCE CONTINUING NORTH 88 DEGREES 58 MINUTES 13 SECONDS WEST, 225.92 FEET TO AN "IRON MONUMENT" ON THE EASTERN RIGHT-OF-WAY OF IRONMOUNT ROAD 37; THENCE SOUTH 17 DEGREES 45 MINUTES 48 SECONDS EAST, WITH SAID RIGHT-OF-WAY, 135.11 FEET TO AN "IRON MONUMENT"; THENCE SOUTH 39 DEGREES 00 MINUTES 42 SECONDS EAST, WITH SAID RIGHT-OF-WAY, 288.79 FEET TO AN "IRON MONUMENT"; THENCE CONTINUING SOUTH 39 DEGREES 00 MINUTES 42 SECONDS EAST, WITH SAID RIGHT-OF-WAY, 201.71 FEET TO A POINT ON THE CENTERLINE OF SOUTH EMPIRE ROAD; THENCE LEAVING SAID RIGHT-OF-WAY, NORTH 1 DEGREE 31 MINUTES 19 SECONDS EAST, 364.82 FEET TO THE POINT OF BEGINNING, AND CONTAINING 1.203 ACRES, MORE OR LESS.



Jason M. Page 9/21/11  
JASON M. PAGE DATE  
INDIANA RLS NO. 21000242

## SURVEYOR'S REPORT

SCOPE OF PROJECT: THIS ALTA/ACSM SURVEY WAS REQUESTED BY VATCHE KHACHATRAIN, REALTOR, ON BEHALF OF THE BUYER, TO MEET THE REQUIREMENTS OF ALTA TITLE COMMITMENT NUMBER 34191 FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY.

IN ACCORDANCE WITH INDIANA SURVEY STANDARDS AS DEFINED IN THE INDIANA ADMINISTRATIVE CODE (865 IAC 1-12 "RULE 12"). THE FOLLOWING OBSERVATIONS AND OPINIONS ARE SUBMITTED REGARDING THE VARIOUS UNCERTAINTIES IN THE LOCATIONS OF THE LINES AND CORNERS ESTABLISHED ON THIS SURVEY AS A RESULT OF:

- A.) AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS
- B.) EXISTING DEEDS AND PLATS OF RECORD
- C.) OCCUPATION OR POSSESSION LINES
- D.) THEORY OF LOCATION
- E.) THE RELATIVE POSITIONAL ACCURACY OF MEASUREMENTS

*THERE MAY BE UNWRITTEN RIGHTS ASSOCIATED WITH THESE UNCERTAINTIES.*

A.) A RAILROAD SPIKE WAS FOUND IN A COUNTY ROAD MARKING THE EAST QUARTER CORNER OF SECTION 32, T8N, R1W, AS REFERENCED ON A TIE SHEET IN THE MONROE COUNTY SURVEYOR'S OFFICE. A 5/8" REBAR WITH CAP INSCRIBED "BLEDSOE TAPP" WAS FOUND MARKING THE SE CORNER OF SECTION 32, T8N, R1W, AS REFERENCED ON A TIE SHEET IN THE MONROE COUNTY SURVEYOR'S OFFICE. A 3" x 10" LIMESTONE, LAID OVER, WAS FOUND MARKING THE SOUTH QUARTER CORNER OF SECTION 32, T8N, R1W, AS REFERENCED ON A TIE SHEET IN THE MONROE COUNTY SURVEYOR'S OFFICE. A LIMESTONE WITH "+" WAS FOUND MARKING THE CENTER OF SECTION 32, T8N, R1W, AS REFERENCED ON A TIE SHEET IN THE MONROE COUNTY SURVEYOR'S OFFICE. A STONE RIGHT-OF-WAY MARKER WAS FOUND AT THE APPARENT RIGHT-OF-WAY OF SOUTH EMPIRE ROAD (FORMERLY KNOWN AS "OLD STATE ROAD 22"). FOUR PK NAILS WERE FOUND FLUSH IN THE PAVEMENT NEAR THE APPROXIMATE CENTERLINE OF SOUTH EMPIRE ROAD. TWO OF THESE PK NAILS HELD NO VERIFIABLE RELATIONSHIP WITH ANY TRACT IN THE AREA. TWO WERE HELD AS WITNESSES DUE TO THEIR POSITIONAL RELATIONSHIP WITH TRACT 1 OF THIS SURVEY, AND EACH OTHER.

B.) PER ALTA/ACSM REQUIREMENTS, THE MOST CURRENT DEEDS FOR BOTH SUBJECT TRACTS WERE SUPPLIED BY THE TITLE COMPANY, AS WERE THE EXISTING PERTINENT EASEMENTS, AND ADJOINING LANDOWNER'S DEEDS. RIGHT-OF-WAY PLANS FOR INDIANA STATE ROAD 37 WERE SUPPLIED BY THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) TECHNICAL SERVICES DEPARTMENT. CONDEMNATION PLATS AND AGREEMENTS FOR SOME TRACTS WHICH WERE A PART OF THE ORIGINAL INDIANA STATE ROAD 37 (NOW KNOWN AS "OLD STATE ROAD 37") WERE ALSO PROVIDED BY THE INDOT TECHNICAL SERVICES DEPARTMENT. NO OTHER SURVEYS IN THE PROJECT VICINITY WERE FOUND RECORDED AT THE MONROE COUNTY COURTHOUSE.

C.) A COUNTY ROAD EXISTS ON THE EASTERN SIDE OF BOTH SUBJECT TRACTS. A COUNTY ROAD EXISTS TO THE NORTH OF SUBJECT TRACT 1. A STATE HIGHWAY EXISTS TO THE WEST OF BOTH SUBJECT TRACTS. A LIMITED ACCESS RIGHT-OF-WAY FENCE, WHICH WAS CONSTRUCTED FOR SAID STATE HIGHWAY, EXISTS NEAR THE ENTIRE WESTERN BOUNDARIES OF BOTH SUBJECT TRACTS.

D.) THE RAILROAD SPIKE MARKING THE EAST QUARTER CORNER OF SECTION 32, ALONG WITH THE LIMESTONE WITH "+" FOUND MARKING THE CENTER OF SECTION 32, WERE USED TO ESTABLISH THE NORTH LINE OF THE SE QUARTER. SINCE NO MONUMENT WAS FOUND, AND NO RECORD EXISTED, THE CALCULATED MID-POINT OF THIS LINE WAS USED AS THE POINT OF COMMENCEMENT FOR BOTH SUBJECT TRACTS. (SAID POINT BEING THE NE CORNER OF NW QUARTER OF THE SE QUARTER OF SECTION 32, AND REFERRED TO IN THE LEGAL DESCRIPTION FOR SUBJECT TRACT 1.) THE NORTH LINE OF SUBJECT TRACT 1 WAS ESTABLISHED BY HOLDING THE STONE RIGHT-OF-WAY MARKER AT THE WESTERN RIGHT-OF-WAY OF SOUTH EMPIRE ROAD (FORMERLY KNOWN AS "OLD STATE ROAD 22") AS THE SOUTHEAST CORNER OF A TRACT OF LAND DEEDED TO THE STATE OF INDIANA AS A RIGHT-OF-WAY GRANT FOR STATE ROAD 37 IN DEED BOOK 209, PAGE 373 BY INDIANA LIMESTONE. THE CALLED FOR SOUTH LINE OF THIS RIGHT-OF-WAY TRACT SHOULD BE THE NORTH LINE OF SUBJECT TRACT 1, DUE TO THE FACT THAT BOTH SUBJECT TRACTS WERE ORIGINALLY A PART OF THE PARENT INDIANA LIMESTONE TRACT. (DUE TO A POSSIBLE ERROR IN THE LEGAL DESCRIPTION FOR SUBJECT TRACT 1, THERE EXISTS A POSSIBLE OVERLAP OF APPROXIMATELY 4.7 FEET BETWEEN THE SOUTH LINE OF THE RIGHT-OF-WAY GRANT AND THE NORTH LINE OF SUBJECT TRACT 1. THIS IS BECAUSE THE RIGHT-OF-WAY GRANT CALLS FOR THREE COURSES ALONG ITS SOUTH LINE, BUT SUBJECT TRACT 1 ONLY CALLS FOR TWO ALONG ITS NORTH LINE. THE RIGHT-OF-WAY GRANT WOULD SEEM TO HOLD SENIOR RIGHTS IN THIS CASE, AND MULTIPLE HIGHWAY RIGHT-OF-WAY PLANS PORTRAY A THREE-COURSE LINE.) THE WESTERN LINES OF BOTH SUBJECT TRACTS ARE THE EASTERN RIGHT-OF-WAY OF INDIANA STATE ROAD 37. THE EASTERN LINE OF SUBJECT TRACT 2 IS THE CENTERLINE OF SOUTH EMPIRE ROAD. THE EASTERN LINE OF SUBJECT TRACT 1 IS ALSO THE CENTERLINE OF SOUTH EMPIRE ROAD, AND TWO PK NAILS WERE FOUND NEAR THE CENTERLINE OF THE ROAD. THE DISTANCE BETWEEN THESE POINTS AGREED WITH THE CALLED FOR DISTANCE OF 107.00 FEET, SO THESE MONUMENTS WERE HELD. THE LINE BETWEEN THE SUBJECT TRACTS WAS ESTABLISHED BY HOLDING THE SOUTHERN PK NAIL AS THE SOUTHEAST CORNER OF SUBJECT TRACT 1, AND RUNNING A LINE WESTERLY TO THE RIGHT-OF-WAY OF STATE ROAD 37, TO A POINT 101.93 FEET SOUTHEASTERLY FROM THE SOUTHWEST CORNER OF THE RIGHT-OF-WAY GRANT TRACT DISCUSSED ABOVE. SAID DISTANCE WAS CALLED FOR BY THE LEGAL DESCRIPTION OF SUBJECT TRACT 1.

E.) THE RELATIVE POSITIONAL ACCURACY OF THE LINES AND CORNERS OF THIS SURVEY DUE TO MEASUREMENTS ARE WITHIN THE SPECIFICATIONS FOR A SUBURBAN SURVEY, WHICH IS A MAXIMUM OF 0.13 FEET (40 MILLIMETERS) PLUS 100 PARTS PER MILLION.

### SURVEY DATA UTILIZED FROM THE FOLLOWING SOURCES:

COPIES OF THE SURVEYS, PLATS, AND INFORMATION REFERENCED EITHER IN THIS REPORT OR ON THE ATTACHED PLAT, WERE OBTAINED FROM FILES AND INFORMATION AT THE FOLLOWING OFFICES:

MONROE COUNTY SURVEYOR'S OFFICE  
MONROE COUNTY RECORDER'S OFFICE  
MONROE COUNTY GIS  
INDOT OFFICE OF TECHNICAL SERVICES  
TITLEPLUS!

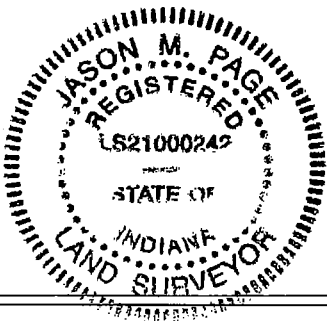
### FLOOD STATEMENT:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA AS SHOWN BY THE FLOOD HAZARD BOUNDARY MAP, COMMUNITY PANEL #180444 0233D, DATED DECEMBER 17, 2010.

### TITLE STATEMENT:

THIS SURVEY WAS PREPARED UTILIZING INFORMATION CONTAINED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. 34191, DATED AUGUST 16, 2011. INSTRUMENTS CITED IN SCHEDULE B OF SAID COMMITMENT FOR TITLE INSURANCE HAVE BEEN SHOWN ON THE ACCOMPANYING PLAT OF SURVEY WHERE THE LEGAL DESCRIPTIONS ADJOIN, CROSS OR ARE CONTAINED WITHIN THE SURVEYED PREMISES.

THE UNDERSIGNED, A REGISTERED LAND SURVEYOR OF THE STATE OF INDIANA, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT AND ABOVE LEGAL DESCRIPTION WERE PREPARED UNDER HIS DIRECT SUPERVISION, AND WAS EXECUTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INDIANA SURVEY STANDARDS AS DEFINED IN TITLE 865, ARTICLE 1, RULE 12 OF THE INDIANA ADMINISTRATIVE CODE.



JASON M. PAGE  
INDIANA RLS NO. 21000242

DATE 9/21/11

SEE SHEET 1 OF 3 FOR PLAT OF SURVEY  
SEE SHEET 2 OF 3 FOR SURVEYED DESCRIPTIONS

ALTA/ACSM LAND TITLE SURVEY  
JOHN PAUL & LINDA O. PAUL

PART OF SECTION 32, T8N, R1W, 8 NORTH, R1W, 1 WEST  
PERRY TOWNSHIP, MONROE COUNTY, INDIANA

TRICO Surveying & Mapping, Inc.

441 West Gourley Pike, Bloomington, In 47404  
Phone: 812-330-7030 Fax: 812-330-7035 Web: www.tricosurveying.com



DRAWN BY: JMP  
CHECKED BY: SAD  
DATE: 09-21-2011  
SCALE: N/A  
JOB NO.: 2011-002

SHEET  
3 OF 3





## WARRANTY DEED

**DULY ENTERED  
FOR TAXATION**

JAN 6 1997

*Barbara M. Clark*  
Auditor Monroe County, Indiana

Auditor's Stamp

Recorder's Stamp

**THIS INDENTURE WITNESSETH**, That DANIEL A. WRIGHT AND LOIS W. WRIGHT, Husband and Wife, of Martin County in the State of Indiana, for and in consideration of One-Dollar (\$1.00) and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, hereby **CONVEY AND WARRANT TO**, DANIEL A. WRIGHT AND LOIS W. WRIGHT, Husband and Wife, of Martin County in the State of Indiana, the following described Real Estate situated in Monroe County in the State of Indiana, to-wit:

A part of the Southwest quarter of Section 33, Township 8 North, Range 1 West, Perry Township, Monroe County, Indiana, more specifically described as follows:

Commencing at a railroad spike found marking the Northwest corner of said Southwest quarter; Thence on the North line of said Southwest quarter South 89 degrees 11 minutes 10 seconds East (basis of bearings being Deed Record 344; Page 392, Office of the Recorder) 702.00 feet to a P.K. nail set at the true point of beginning;

Thence continuing South 89 degrees 11 minutes 10 seconds East 60.00 feet;  
Thence leaving said North line South 01 degree 00 minutes 00 seconds East 11.10 feet to an iron pipe found;

Thence on and along a fence line the following chords:  
North 89 degrees 00 minutes 00 seconds East 47.52 feet;  
South 77 degrees 38 minutes 36 seconds East 73.81 feet;  
South 68 degrees 11 minutes 42 seconds East 68.60 feet;  
South 60 degrees 30 minutes 36 seconds East 68.86 feet;  
South 49 degrees 52 minutes 56 seconds East 62.45 feet to an iron pipe found;  
South 37 degrees 13 minutes 24 seconds East 470.46 feet to an iron pipe found;  
South 29 degrees 26 minutes 24 seconds East 378.23 feet to an iron pipe found;  
Thence leaving said fence line North 89 degrees 11 minutes 10 seconds West 500.35 feet;  
Thence North 26 degrees 55 minutes 35 seconds West 24.73 feet to a 5/8 inch diameter rebar with a cap marked "Curry 890006" (called "monument" for the remainder of this description) set;  
Thence continuing North 26 degrees 55 minutes 35 seconds West 200.27 feet to a monument set;  
Thence North 04 degrees 29 minutes 57 seconds West 500.00 feet to a monument set;  
Thence North 69 degrees 53 minutes 00 seconds West 186.95 feet to a monument set;

Thence North 04 degrees 29 minutes 57 seconds West 60.26 feet to the POINT OF BEGINNING containing within said bounds **6.69 ACRES** be the same more or less but subject to all rights-of-way and easements according to a survey by Douglas R. Curry, Registered Surveyor No. 890006 in October, 1996.

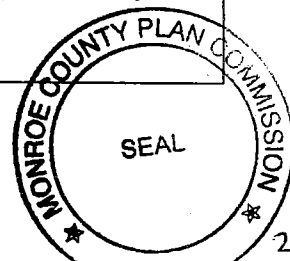
SUBJECT TO a right-of-way 25 feet wide along the above called course "South 89 degrees 11 minutes 10 seconds East 60.00 feet."

SUBJECT TO all duly recorded liens and encumbrances, rights-of-way, and the right-of-way of Empire Mill Road.

# 014 - 17240 - 03

Monroe County Plan Commission

In accordance with the Subdivision Control Ordinance, this parcel was created by Administrative Subdivision, TYPE E on DECEMBER 30, 1997.



# WARRANTY DEED

DULY ENTERED  
FOR TAXATION

JAN 6 1997

*Robert W. Clark*  
Auditor Monroe County, Indiana

Auditor's Stamp

Recorder's Stamp

**THIS INDENTURE WITNESSETH**, That DANIEL A. WRIGHT AND LOIS W. WRIGHT, Husband and Wife, of Martin County in the State of Indiana, for and in consideration of One-Dollar (\$1.00) and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, hereby **CONVEY AND WARRANT TO**, DANIEL A. WRIGHT AND LOIS W. WRIGHT, Husband and Wife, of Martin County in the State of Indiana, the following described Real Estate situated in Monroe County in the State of Indiana, to-wit:

A part of the Southwest quarter of Section 33, Township 8 North, Range 1 West, Perry Township, Monroe County, Indiana, more specifically described as follows:

Commencing at a railroad spike found marking the Northwest corner of said Southwest quarter; Thence on the North line of said Southwest quarter South 89 degrees 11 minutes 10 seconds East (basis of bearings being Deed Record 344, Page 392, Office of the Recorder) 322.69 feet to a P.K. nail set at the true point of beginning;

Thence continuing South 89 degrees 11 minutes 10 seconds East 275.00 feet to a P.K. nail set; Thence leaving said North line South 04 degrees 29 minutes 57 seconds East 60.26 feet to a 5/8 inch diameter rebar with a cap marked "Curry 890006" (called "monument" for the remainder of this description) set;

Thence continuing South 04 degrees 29 minutes 57 seconds East 762.06 feet to a monument set;

Thence North 89 degrees 11 minutes 10 seconds West 275.00 feet;

Thence North 04 degrees 29 minutes 57 seconds West 2.74 feet to a monument set;

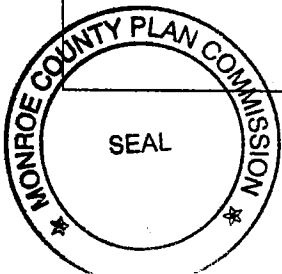
Thence continuing North 04 degrees 29 minutes 57 seconds West 759.32 feet to a monument set;

Thence continuing North 04 degrees 29 minutes 57 seconds West 60.26 feet to the POINT OF BEGINNING containing within said bounds 5.17 ACRES be the same more or less but subject to all rights-of-way and easements according to a survey by Douglas R. Curry, Registered Surveyor No. 890006 in October, 1996.

SUBJECT TO a right-of-way 25 feet wide along the above called course "South 89 degrees 11 minutes 10 seconds East 275.00 feet."

SUBJECT TO all duly recorded liens and encumbrances, rights-of-way, and the right-of-way of Empire Mill Road.

SUBJECT TO the Spring Installment of 1996 Taxes due and payable in May, 1997, and all taxes coming due thereafter, which the Grantees assume and agree to pay.



# 014-17240 - 00

Monroe County Plan Commission

In accordance with the Subdivision Control Ordinance, this parcel was created by Administrative Subdivision, TYPE E on DECEMBER 30, 1997

1-6-97

## WARRANTY DEED

DULY ENTERED  
FOR TAXATION

JAN 6 1997

*Barbara M. Clark*  
Auditor Monroe County, Indiana

Auditor's Stamp

Recorder's Stamp

**THIS INDENTURE WITNESSETH**, That DANIEL A. WRIGHT AND LOIS W. WRIGHT, Husband and Wife, of Martin County in the State of Indiana, for and in consideration of One-Dollar (\$1.00) and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, hereby **CONVEY AND WARRANT TO**, DANIEL A. WRIGHT AND LOIS W. WRIGHT, Husband and Wife, of Martin County in the State of Indiana, the following described Real Estate situated in Monroe County in the State of Indiana, to-wit:

A part of the Southwest quarter of Section 33, Township 8 North, Range 1 West, Perry Township, Monroe County, Indiana, more specifically described as follows:

Commencing at a railroad spike found marking the Northwest corner of said Southwest quarter; Thence on the North line of said Southwest quarter South 89 degrees 11 minutes 10 seconds East (basis of bearings being Deed Record 344, Page 392, Office of the Recorder) 597.69 feet to a P.K. nail set at the true point of beginning;

Thence continuing South 89 degrees 11 minutes 10 seconds East 104.31 feet to a P.K. nail set; Thence leaving said North line South 04 degrees 29 minutes 57 seconds East 60.26 feet to a 5/8 inch diameter rebar with a cap marked "Curry 890006" (called "monument" for the remainder of this description) set;

Thence South 69 degrees 53 minutes 00 seconds East 186.95 feet to a monument set;

Thence South 04 degrees 29 minutes 57 seconds East 500.00 feet to a monument set;

Thence South 26 degrees 55 minutes 35 seconds East 200.27 feet to a monument set;

Thence continuing South 26 degrees 55 minutes 35 seconds East 24.73 feet;

Thence North 89 degrees 11 minutes 10 seconds West 361.21 feet to a monument set;

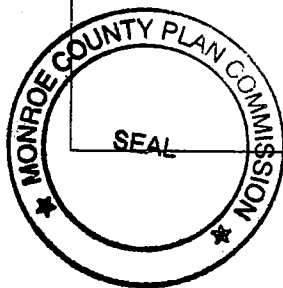
Thence North 04 degrees 29 minutes 57 seconds West 762.06 feet to a monument set;

Thence continuing North 04 degrees 29 minutes 57 seconds West 60.26 feet to the POINT OF BEGINNING containing within said bounds 5.01 ACRES be the same more or less but subject to all rights-of-way and easements according to a survey by Douglas R. Curry Registered Surveyor No. 890006 in October, 1996.

SUBJECT TO a right-of-way 25 feet wide along the above called course "South 89 degrees 11 minutes 10 seconds East 104.37 feet."

SUBJECT TO all duly recorded liens and encumbrances, rights-of-way, and the right-of-way of Empire Mill Road.

SUBJECT TO the Spring Installment of 1996 Taxes due and payable in May, 1997, and all taxes coming due thereafter, which the Grantees assume and agree to pay.



#014-17240-00 ✓

Monroe County Plan Commission

In accordance with the Subdivision Control Ordinance, this parcel was created by Administrative Subdivision, TYPE E on DECEMBER 30, 1997.

650 E. Empire Mill Rd

Bloomington, IN. 47401

# WARRANTY DEED

## DULY ENTERED FOR TAXATION

JAN 6 1997

*Robert W. Clark*  
Auditor Monroe County, Indiana

Auditor's Stamp

Recorder's Stamp

**THIS INDENTURE WITNESSETH**, That DANIEL A. WRIGHT AND LOIS W. WRIGHT, Husband and Wife, of Martin County in the State of Indiana, for and in consideration of One-Dollar (\$1.00) and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, hereby **CONVEY AND WARRANT TO**, DANIEL A. WRIGHT AND LOIS W. WRIGHT, Husband and Wife, of Martin County in the State of Indiana, the following described Real Estate situated in Monroe County in the State of Indiana, to-wit:

A part of the Southwest quarter of Section 33 and a part the Southeast quarter of Section 32, Township 8 North, Range 1 West, Perry Township, Monroe County, Indiana, more specifically described as follows:

Commencing at a railroad spike found marking the Northwest corner of said Southwest quarter;

Thence on the North line of said Southwest quarter South 89 degrees 11 minutes 10 seconds East (basis of bearings being Deed Record 344, Page 392, Office of the Recorder) 47.69 feet to a P.K. nail set at the true point of beginning;

Thence continuing South 89 degrees 11 minutes 10 seconds East 100.00 feet to a P.K. nail set;

Thence continuing South 89 degrees 11 minutes 10 seconds East 175.00 feet to a P.K. nail set;

Thence leaving said North line South 04 degrees 29 minutes 57 seconds East 60.26 feet to a 5/8 inch diameter rebar with a cap marked "Curry 890006" (called "monument" for the remainder of this description) set;

Thence continuing South 04 degrees 29 minutes 57 seconds East 759.32 feet to a monument set;

Thence continuing South 04 degrees 29 minutes 57 seconds East 2.74 feet;

Thence North 89 degrees 11 minutes 10 seconds West 314.47 feet to an iron pipe found on the centerline of an ingress and egress easement being 30 feet wide as stated in Deed Record 344 at page 393 in the Office of the Recorder;

Thence continuing North 89 degrees 11 minutes 10 seconds West 100.00 feet to a monument set on the East line of Harold R. and Marilyn June Humphrey as stated in Deed Record 346 at page 249 in the Office of the Recorder;

Thence on said East line North 05 degrees 14 minutes 09 seconds East 761.05 feet to a monument set;

Thence continuing North 05 degrees 14 minutes 09 seconds East 60.18 feet to the POINT OF BEGINNING containing within said bounds 6.48 ACRES (6.38 acres in Section 33 and 0.10 acres in Section 32) be the same more or less but subject to all rights-of-way and easements according to a survey by Douglas R. Curry, Registered Surveyor No. 890006, in October, 1996.

SUBJECT TO a right-of-way 25 feet wide along the northerly end thereof.

SUBJECT TO an Easement as stated in Deed Record 344 at page 393 in the Office of the Recorder reserved and retained by Indiana Limestone Company and exclusively for the benefit of Indiana Limestone Company so long as Indiana Limestone Company owns quarries on land nearby, said easement for access and service to Indiana Limestone Company's quarries as follows:

#014-17240-04

#014-17260-03

Monroe County Plan Commission

In accordance with the Subdivision Control Ordinance, this parcel was created by Administrative Subdivision TYPE F on December 30, 1997

